

Plan Commission

Regular Meeting Notice and Agenda

Village of Cross Plains
2417 Brewery Road, PO Box 97
Cross Plains, WI 53528
(608) 798-3241

Monday, March 2, 2020

7:00 pm

- I. Call to Order, Roll Call, and Pledge of Allegiance – Plan Commission
- II. Public Comment – This is an opportunity for anyone to address the Plan Commission on any issue NOT on the current agenda. *Please observe the time limit of 3 minutes.* While the Plan Commission encourages input from residents, it may not discuss or act on any issue that is not duly noticed on the agenda.
- III. General Business – Regular Meeting
 1. Discussion and action regarding minutes of the regular meeting held January 6, 2020.
 2. Public Hearing
 - a. A request for a Conditional Use Permit to construct an addition to Park Elementary School located at 1902 Park Street, Cross Plains, WI.
 3. Accept and recommend the request for a Conditional Use Permit to construct an addition to Park Elementary School located at 1902 Park Street, Cross Plains, WI to the Village Board.
 4. Review and possible action regarding the Concept Plan of the General Development Plan for 1909 Main Street.
 5. Review and possible action regarding the Concept Plan of the General Development Plan and revised plat map for Creek Crossing at St. Francis.
- V. Adjournment

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the Village Hall at (608) 798-3241 or bchang@cross-plains.wi.us.

Plan Commission

Regular Meeting Minutes

Village of Cross Plains
2417 Brewery Road, PO Box 97
Cross Plains, WI 53528
(608) 798-3241

Monday, January 6, 2020

7:00 pm

I. Call to Order, Roll Call – Plan Commission

President Lengfeld called the Regular Plan Commission meeting to order at 7:00 pm.

Present: Commissioners Eric Padrutt, Todd DuQuette, Randy Case, Kevin Thusius, Cliff Zander, Judy Ketelboeter and President Jay Lengfeld.

Also present: Village Administrator/Clerk Bill Chang,

II. Public Comment - None

III. General Business – Regular Meeting

1) Discussion and action regarding minutes of the regular meeting held December 3, 2019.

A motion was made by Commissioner DuQuette, seconded by Commissioner Zander, and unanimously carried by the Plan Commission, to approve the December 3, 2019 meeting minutes.

2) Public Hearing regarding a request from Andrew and Emily Smith, for a Conditional Use Permit for Small Solar Energy System use located at 601 Dale Court, Cross Plains, WI.

A motion was made by Commissioner Case, seconded by Commissioner Zander, and unanimously carried by the Plan Commission, to open the public hearing.

Hearing no comment, a motion was made by Commissioner Zander, seconded by Commissioner Case, and unanimously carried by the Plan Commission, to close the public hearing.

3) Accept and recommend the request from Andrew and Emily Smith, for a Conditional Use Permit for Small Solar Energy System use located at 601 Dale Court, Cross Plains, WI.

A motion was made by Commissioner Duquette and seconded by Commissioner Padrutt, to accept and recommend the request for a Conditional Use Permit for Small Solar Energy System use located at 601 Dale Court, Cross Plains, WI. Roll call vote requested. YES – Commissioners Padrutt, Duquette, Case, Thusius, Zander, Ketelboeter and President Lengfeld. NO – None. Motion carries 7-0.

V. Adjournment

A motion was made by Commissioner Zander, seconded by Commissioner Thusius, and unanimously carried Plan Commission to adjourn at 7:05 pm.

Proper notice of this meeting was given to the public and posted on the public bulletin boards in accordance with the Open Meeting Law.

Respectfully submitted,

Bill Chang
Village Administrator/Clerk



Village of Cross Plains
PO Box 97, 2417 Brewery Road
Cross Plains, WI 53528
Phone: (608) 798-3241
Fax: (608) 798-3817

Memorandum

To: Plan Commission
From: Bill Chang, Village Administrator/Clerk
Date: February 28, 2020
Re: **Conditional Use Permit for Park School Addition.**

Executive Summary

The Middleton-Cross Plains Area School District (The District) has submitted an application for a conditional use permit. The District is proposing a 7,400 sf addition to the current Park Elementary School Building. The additional space consists of a cafeteria, kitchen, and accessory space. The construction also includes additional parking spaces and storm water control.

Project Background

The additional space will provide the school with proper eating and food prep space. The school currently uses the gym space as its cafeteria. The District went to referendum 2018 for this addition in 2018. The referendum was approved.

Code Review

Section 84.28 (SR-3) Single Family Residential – 3 Zoning District

All of the property subject to the permit is located within the SR-3 Single Family 3 Zoning District. Within this district, Indoor Institutional uses as a principal use is permitted under Section 84.28(c)(3). The height and setback limits for the addition of rooftop shall comply with the height limits and setbacks for primary structures.

The specific bulk, density, and intensity requirements are not proposed to be changed, therefore also appear to be met.

Section 84.161 Conditional Use Permit Procedures.

The code specifies the process and procedure for the Conditional Use Permit. The Village Administrator/Clerk's review of each application as it corresponds to Section 84.161 (e) (3) is provided below.

- Review of Comprehensive Plan – The Village of Cross Plains Comprehensive addresses community facilities in Chapter 5 of the Comprehensive Plan. The plan specifically addresses the importance of coordination between the school district and the Village leading to a high quality of life and opportunities.

- Impact on neighbors – The proposed addition will have minimal direct impact on neighbors except for times during the construction phase and the limitation of public road use. This will be coordinated with the Village. The project will improve stormwater management and all construction, with the exception of water/sewer extensions will be kept on site.
- Land use observation – the addition is not averse to residential land use. Properties are able to maintain the desired consistency of land uses and intensities.
- Service and undue burden assessment – Residential units are adequately served by utilities. The addition does not impose an undue burden on such facilities or utilities.
- Public benefits vs. adverse impacts– the public benefits of the addition outweigh the adverse impacts. The additional space is in-line and needed at the school to provide adequate services for its use and with the growing population within the district.

Section 84.57(a) – Institutional Land Uses – Performance Standards

In addition to the requirements from the previous two sections, Indoor Institutional uses are also subject to performance standards. In this case, an off-street passenger loading area for users is already provided. The construction also proposes additional parking spaces without adding additional employees.

Recommendation

Village Staff recommends acceptance of the application with recommendation to the Village Board for approval with the following minimal conditions:

- 1) Construction and use of space shall be coordinated with currently scheduled Park and Recreation Programs;
- 2) The tapping for the 6-inch water lateral to service the building shall be done “live” and coordinated with Jerry Gray, Director of Public Facilities;
- 3) Match line saw markings to be approved by Jerry Gray, Director of Public Facilities before sawing for all street patches;
- 4) Pavement patches for curb patches and utility service connections shall be full width of the street/ sidewalk or discretion of Jerry Gray, Director of Public Facilities;
- 5) The Sanitary Sewer lateral should have a manhole access near the building to provide for sampling if needed and as a clean-out if needed;
- 6) Village approval of the stormwater management design and report; and
- 7) Village approval of plan review and building permits.

SECTION 84.28 (SR-3) Single Family Residential – 3 Zoning District.

- (a) **Intent.** This district intends to create, preserve, and enhance areas for moderate density single family detached dwellings at an approximate density of 3 dwelling units per acre.
- (b) **Principal Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Single Family
 - (2) Selective Cutting
 - (3) Community Garden
 - (4) Outdoor Open Space Institutional
 - (5) Passive Outdoor Recreation
 - (6) Essential Services
 - (7) Small Scale Public Services and Utilities
 - (8) Community Living Arrangement (1-8 residents) meeting the requirements of Section 84.57(h)
- (c) **Principal Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Cultivation
 - (2) Clear Cutting
 - (3) Indoor Institutional
 - (4) Community Living Arrangement (9-15 residents) meeting the requirements of Section 84.57(i)
 - (5) Bed and Breakfast
 - (6) Large Wind Energy System
 - (7) Large Solar Energy System
- (d) **Accessory Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Home Occupation
 - (2) In-Home Daycare (4-8 children)
 - (3) In-Family Suite
 - (4) Residential Accessory Structure
 - (5) Nonresidential Accessory Structure
 - (6) Recreational Facility
 - (7) Landscape Feature
 - (8) *Repealed (Ordinance #05-2017)*
 - (9) On-Site Parking
 - (10) Satellite Dish
 - (11) Personal Antenna and Towers
 - (12) Communication Antenna
- (e) **Accessory Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Accessory Dwelling Unit

- (2) Residential Chicken Coop
 - (3) Residential Apiary
 - (4) Small Wind Energy System
 - (5) Small Solar Energy System
- (f) **Temporary Uses.** Refer to Article III for detailed definitions and requirements for each of the following land uses. (Exempt from setbacks unless specified in Article III.)
- (1) Temporary Outdoor Assembly
 - (2) Temporary Shelter Structure
 - (3) Temporary Storage Container
 - (4) Temporary On-Site Construction Storage
 - (5) Temporary Contractor’s Project Office
 - (6) Temporary On-Site Real Estate Sales Office
 - (7) Temporary Relocatable Building
 - (8) Garage or Estate Sale
- (g) **Density, Intensity, and Bulk Regulations for the (SR-3) Single Family Residential – 3 District.**

	Residential Uses	Nonresidential Uses
Minimum Lot Area	12,000 square feet	12,000 square feet
Maximum Density	3 dwelling units per acre	N/A
Minimum Lot Frontage	50 feet	50 feet
Maximum Building Coverage of Lot	45 percent	45 percent
Minimum Landscape Surface Ratio	40 percent	40 percent
Minimum Lot Width	100 feet	100 feet
Minimum Front Setback	25 feet	25 feet
Minimum Street Side Setback	25 feet	25 feet
Minimum Side Setback	12 feet	15 feet
Minimum Rear Setback	25 feet	20 feet
Maximum Principal Building Height	35 feet	35 feet
Minimum Principal Building Separation (multi-structure developments on shared lots)	24 feet	30 feet
Minimum Pavement Setback (lot line to pavement; excludes driveway entrances)	3 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear	3 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear
Minimum Parking Required	See Article III	See Article III
Minimum Garage Door Setback to Alley (if applicable)	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley
Accessory Building Side Setback	10 feet	10 feet
Accessory Building Rear Setback	10 feet	10 feet
Maximum Accessory Building Height	Lesser of 15 feet or principal building height	20 feet

- (h) **Regulations Applicable to All Uses.** Most development will also be subject to the following requirements:
- (1) Article VI: Overlay Zoning Districts
 - (2) Article VII: Performance Standards
 - (3) Article VIII: Landscaping Regulations
 - (4) Chapter 87: Signage Regulations

SECTION 84.161 Conditional Use Permit Procedures.

- (a) **Purpose.** The purpose of this Section is to provide regulations which govern the procedure and requirements for the review and approval, or denial, of proposed conditional uses.
- (b) **Applicability.** There are certain uses, which because of their unique characteristics make impractical the predetermination of permissibility. In these cases, specific standards, regulations, or conditions may be established.
- (c) **Initiation of Request.** Proceedings for approval of a conditional use may be initiated by an application of the owner(s) of the subject property.
- (d) **Application.** An application for a conditional use permit shall contain the following (digital files should be submitted rather than paper copies whenever possible, if applicable):
 - (1) A map of the subject property to scale depicting:
 - a. All lands for which the conditional use is proposed and all other lands within 100 feet of the boundaries of the subject property.
 - b. Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Dane County.
 - c. Current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control.
 - d. All lot dimensions of the subject property.
 - e. A graphic scale and a north arrow.
 - (2) Written description of the proposed conditional use including the type of activities, buildings, structures, and off-street parking proposed for the subject property and their general locations.
 - (3) A site plan of the subject property if proposed for development conforming to all requirements of Section 84.164. If the proposed conditional use is a group or large development (per Section 84.118), a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan.
 - (4) Written justification for the proposed conditional use, including evidence that the application is consistent with the Comprehensive Plan.
 - (5) For Group and Large Development, a Transportation Demand Management (TDM) Plan meeting Wisconsin Department of Transportation requirements for content and format may be required by the Village if deemed necessary by the Village Engineer.
- (e) **Review by Zoning Administrator.**
 - (1) The Zoning Administrator shall determine whether the application is complete and fulfills the requirements of this Chapter. If the application is determined to be incomplete, the Zoning Administrator shall notify the applicant.

- (2) The Zoning Administrator may coordinate review with the Village's Development Review Team.
- (3) The Zoning Administrator shall review the completed application and evaluate whether the proposed conditional use:
 - a. Is in harmony with the recommendations of the Comprehensive Plan.
 - b. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.
 - c. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - d. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - e. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.
- (4) The Zoning Administrator shall prepare a written report addressing items (e)(3)a.-e. above, to be forwarded to the Plan Commission for the Commission's review and use in making its recommendation to the Village Board. If the Zoning Administrator determines that the proposal may be in conflict with the provisions of the Comprehensive Plan, the Zoning Administrator shall note this determination in the report.
- (f) **Public Hearing.** Within 50 days of filing of a complete application, the Plan Commission shall hold a public hearing in compliance with Section 84.158 to consider the request.
- (g) **Review and Recommendation by the Plan Commission.**
 - (1) Within 60 days after the public hearing, the Plan Commission may make a written report to the Village Board, and/or may state in the minutes its recommendations regarding the application. Said report and/or minutes may include a formal finding of facts developed and approved by the Plan Commission concerning the requirements of Subsection (e)(3)a.-e. above.
 - (2) If the Plan Commission fails to make a recommendation within 60 days after the public hearing, the Village Board may hold a public hearing within 30 days after the expiration of said 60 day period. Failure to receive a recommendation from the Plan Commission shall not invalidate the proceedings or actions of the Village Board. If a public hearing is necessary, the Village Board shall provide notice per the requirements so Section 84.158.

- (h) **Review and Action by Village Board.**
 - (1) The Village Board shall consider the recommendation of the Plan Commission regarding the proposed conditional use. The Village Board may request further information and/or additional reports from the Plan Commission, Zoning Administrator, applicant, and/or from any other source.
 - (2) The Village Board may take final action (by resolution) on the application at the time of its initial meeting or may continue the proceedings at applicant's request. The Village Board may approve the conditional use as originally proposed, may approve the proposed conditional use with modifications, or may deny approval of the proposed conditional use.
 - (3) If the Village Board wishes to make significant changes in the proposed conditional use, as recommended by the Plan Commission, then the procedure set forth in Section 62.23(7)(d) of the Wisconsin Statutes shall be followed prior to Village Board action.
- (i) **Effect of Denial.** No application which has been denied (either wholly or in part) shall be resubmitted for a period of 12 months from the date of said order of denial, except on grounds of new evidence or proof of change of factors found valid by the Zoning Administrator.
- (j) **Revocation of an Approved Conditional Use.** Upon approval by the Village Board, the applicant must demonstrate that the proposed conditional use meets all general and specific conditional use requirements in the site plan required for initiation of development activity on the subject property per Section 84.164. Once a conditional use is granted, no erosion control permit, site plan, certificate of occupancy, or building permit shall be issued for any development which does not comply with all requirements of this Chapter. Any conditional use found not to be in compliance with the terms of this Chapter shall be considered in violation of this Chapter and shall be subject to all applicable procedures and penalties. A conditional use may be revoked for such a violation by majority vote of the Village Board, following the procedures outlined in Subsection (i), above.
- (k) **Time Limits on the Development of Conditional Use.** Unless extended as a condition of approval, the start of construction of any and all conditional uses shall be initiated within 365 days of its approval by the Village Board and shall be operational within 730 days of said approval. Failure to initiate development within this period shall automatically constitute a revocation of the conditional use. For the purposes of this Section, "operational" shall be defined as the granting of a certificate of occupancy for the conditional use. Prior to such a revocation, the applicant may request an extension of this period. Said request shall require formal approval by the Village Board and shall be based upon a showing of acceptable justification (as determined by the Village Board). However, as a condition of approval, the 365 and/or 730 day time limits may be extended for any specific period including not time limit to accommodate phased or multi-stage development.

- (l) **Discontinuing an Approved Conditional Use.** Any and all conditional uses which have been discontinued for a period exceeding 365 days shall have their conditional use invalidated automatically. The burden of proof shall be on the property owner to conclusively demonstrate that the subject conditional use was operational during this period.
- (m) **Change of Ownership.** All requirements of the approved conditional use shall be continued regardless of ownership of the subject property; however, submittal of a plan of operation may be required prior to the change in ownership.
- (n) **Modification, Alteration, or Expansion.** Modification, alteration, or expansion of any conditional use without approval by the Village Board, shall be considered in violation of this Chapter and shall be grounds for revocation of said conditional use approval per Subsection (j), above. A modification, alteration, or expansion which has been approved as part of a prior valid condition use does not require a new conditional use approval.
- (o) **Recording of Conditional Use Requirements.** Except for conditional use approvals for temporary uses, a certified copy of the authorizing resolution, containing identifiable description and any specific requirements of approval, shall be recorded by the Village, at the applicant's expense, with the Register of Deeds for the subject property.
- (p) **Formerly Approved Conditional Uses.** A use now regulated as a conditional use which was approved as a legal land use, either permitted by right or as a conditional use, prior to the effective date of this Chapter, shall be considered as a legal, conforming land use so long as the previously approved conditions of use and previously approved site plan are followed. Any modification of the previously approved conditions of use or site plan shall require application and Village consideration under this Section.
- (q) **Limited Conditional Uses.** A limited conditional use is any development, activity or operation for which a conditional use permit has been approved that is limited to a specific operator or property owner, or to a specific date or event upon which the conditional use permit either expires or is required to be reviewed and reapproved. The Plan Commission may recommend, and the Village Board may designate, any proposed conditional use request as a limited conditional use. The Plan Commission shall specify which of the following characteristics are present that create the need for the limited conditional use:
 - (1) A particular aspect of the specific land use.
 - (2) A particular aspect of the proposed operation (including, but not limited to, operating hours).
 - (3) A particular aspect of the proposed location.
 - (4) A particular aspect of the proposed site design.
 - (5) A particular aspect of the adjacent property or of the surrounding environs.
 - (6) Any other reason(s) the Village Board deems specially relevant and material.

(r) **Successor Conditional Uses.**

- (1) **Definition.** A successor conditional use is a land use which has been granted a conditional use permit by the Village, which is proposed to undergo one or more of the following:
 - a. Changing from the specific use originally permitted by conditional use to another operation of the same use. (For example, changing from one restaurant to another is permitted. However, changing from a restaurant to a tavern is not permitted even though both are considered Indoor Commercial Entertainment land uses under Section 84.58(d). Likewise, changing from a drive-through restaurant to a drive-through bank is not permitted, even though both are considered In-Vehicle Sales and Service under Section 84.58(i).
 - b. Only a change in the ownership of the subject property.
 - c. Only a change in the ownership of the business or other operator of the land use.
 - d. Other changes explicitly identified in a currently valid conditional use permit which are identified as acceptable as a successor conditional use.
- (2) **Purpose.** The purpose of these provisions is to create a process which:
 - a. Verifies that the proposed change is a valid successor conditional use.
 - b. Creates a record that the proposed change is recognized by the Village as a successor conditional use.
 - c. Clarifies that the same conditions of approval, development and operation continue to apply to a successor conditional use.
 - d. Reduces the costs and time needed to approve a successor conditional use;
- (3) **Approval Process.** A successor conditional use shall not require the granting of a new conditional use permit by the Village. However, prior to operation, a successor conditional use shall require the formal reaffirmation of its status as a valid successor conditional use. This required formal reaffirmation shall be issued in writing by the Village Zoning Administrator, or by the designee of the Village Zoning Administrator.
- (4) **Proposed Expansions are Not Eligible.** Any physical enlargement of a previously approved conditional use in terms of buildings, structures, activity areas, and/or any expansion of the conditions of operation, beyond the limits of site plans, floor plans and conditions of operation approved through the conditional use process, shall not be eligible for treatment as a successor conditional use, and must seek an amendment to its conditional use permit through the conditional use process.
- (5) **Ineligible Land Uses.** The following land uses are not eligible for treatment as a successor conditional use, and shall require approval of a new limited conditional use permit which is specific to both the business owner and to the property owner:
 - a. Intermediate Home Day Care (9-15 children) land uses in residential zoning districts.
 - b. Bed and Breakfast land uses in residential zoning districts.

SECTION 84.57 Institutional Land Uses.

- (a) **Indoor Institutional.** Indoor public and not for profit recreational facilities (such as gyms, swimming pools, libraries, museums, and community centers), schools, churches, hospitals and walk-in clinics, nonprofit clubs, nonprofit fraternal organizations, convention centers, private institutional businesses, jails, prisons, and similar land uses.

Regulations:

- (1) An off-street passenger loading area shall be provided if the majority of the users will be children (as in the case of a school, church, library, or similar land use).
- (2) **Minimum required parking:** Generally, one space per three expected patrons at maximum capacity; however, the following specific requirements may apply.
- a. **Church:** One space per five seats at the maximum capacity.
 - b. **Community or Recreation Center:** One space per 300 square feet of gross floor area, or one space per four patrons to the maximum capacity, whichever is greater, plus one space per employee on the largest work shift.
 - c. **Funeral Home:** One space per three patron seats at the maximum capacity, plus one space per employee on the largest work shift.
 - d. **Library or Museum:** One space per 300 square feet of gross floor area or one space per four seats to the maximum capacity, whichever is greater, plus one space per employee on the largest work shift.
 - e. **Elementary or Junior High:** One space per two employees.
 - f. **Senior High:** One space per two employees, plus 30 percent of maximum capacity.
 - g. **College or Trade School:** One space per staff member on the largest work shift, plus one space per two students of the largest class attendance period.



eppstein uhen : architects

MIDDLETON-CROSS PLAINS AREA SCHOOL DISTRICT – PARK ELEMENTARY SCHOOL

1209 Park Street, Cross Plains, Wisconsin 53528

February 09, 2020

Letter of Intent

The School District of Middleton-Cross Plains proposes to build a cafeteria and kitchen addition of 7,400sf to the existing Park Elementary School. The addition will not increase the enrolment at the school. The cafeteria addition will allow the school to have separate cafeteria and gymnasium spaces. Currently the school uses one space to serve both functions. The school will continue its current practice of community group access to the existing gymnasium and the new cafeteria for use outside of school hours.

The addition will be located on the northeast corner of the existing school. The exterior materials will be a combination of concrete and clay brick masonry and metal panels. The exterior design will be modern but complementary to the existing architecture. Tall windows will be located on the north side of the addition to take advantage of the views of the existing tree line on the north side of the property.

The east parking lot will be modified to provide additional parking stalls. This will be accomplished by closing the north most existing driveway off of Center Street. A new driveway access will be added further to the north. This will allow for 14 additional park spaces at the east side of the school. A stormwater basin will be located to the east side to the parking lot expansion.

Existing playground equipment will be removed from the east side of the building, while additional equipment will be added to the west side of the school to consolidate playground supervision. The existing ball fields will remain as is.

The existing sidewalk along Park Street will be extended to the intersection of Park and Center. This sidewalk will also extend further to the west stopping just short of the existing driveway access off of Park Street.

Construction will begin April 2020 and continue until August 2020.

333 E. Chicago St.
Milwaukee, WI 53202
414 271 5350 : main
414 271 7794 : fax

222 W. Washington Ave.
Suite 650
Madison, WI 53703
608 442 5350 : main
608 442 6680 : fax



PARK ELEMENTARY RENOVATION & ADDITION

1209 PARK STREET
CROSS PLAINS, WI 53528



DESIGN DEVELOPMENT SET

PROGRESS DOCUMENTS

12/19/2019

PROJECT NUMBER: 16517-01



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

des moines 699 Walnut Street, Suite 400
Des Moines, Iowa 50309
515.724.5840

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

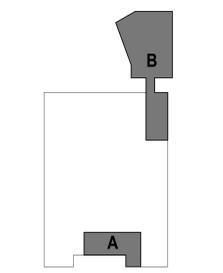
PARK ELEMENTARY RENOVATION & ADDITION

1209 PARK STREET
CROSS PLAINS, WI
53528

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/14/2019	SCHEMATIC DESIGN SET
12/19/2019	DESIGN DEVELOPMENT SET

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

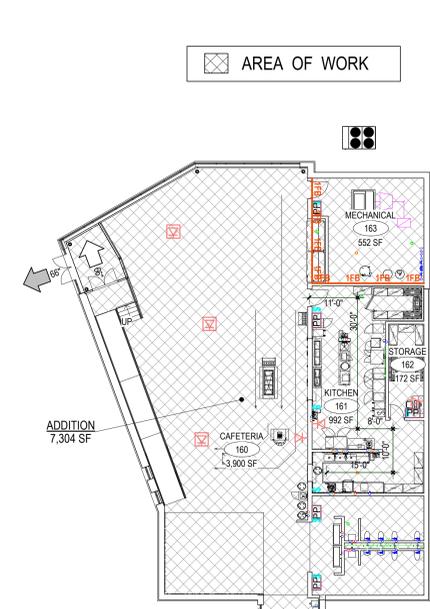
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 16517-01

FIRST FLOOR LIFE SAFETY PLAN

G101

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PROJECT DATA

OWNER: MIDDLETON CROSS PLAINS AREA SCHOOL DISTRICT

LOCATION: CROSS PLAINS, DANE COUNTY, WISCONSIN

APPLICABLE BUILDING CODES: 2015 IBC AS MODIFIED BY CHAPTERS SPS 381-386 MAY 1, 2018; 2015 INTERNATIONAL EXISTING BUILDING CODE; NFPA 101 LIFE SAFETY CODE (2012)

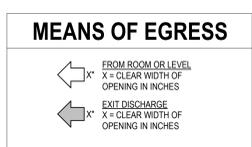
CONSTRUCTION CLASSIFICATION: ADDITION TYPE IIIB; OCCUPANCY GROUP A-2 (ASSEMBLY); PROJECT TYPE ALTERATION - LEVEL 2

BLDG GROSS AREA (SQ FT): EXISTING BUILDING: 46,289; ADDITION: 7,309

FIRE PROTECTION: FIRE ALARM COMPLETE; FIRE SUPPRESSION NONE; MONITORING TYPE CENTRAL STATION

NFPA STANDARD USED: 13

FIRE RESISTIVE RATINGS: STAIR ENCLOSURES NONE; ELEVATOR ENCLOSURES 1 HOUR; FLOORS 0 HOUR; ROOFS 0 HOUR; EXTERIOR WALLS 0 HOUR; LOWER LEVEL STORAGE SPACES 0 HOUR

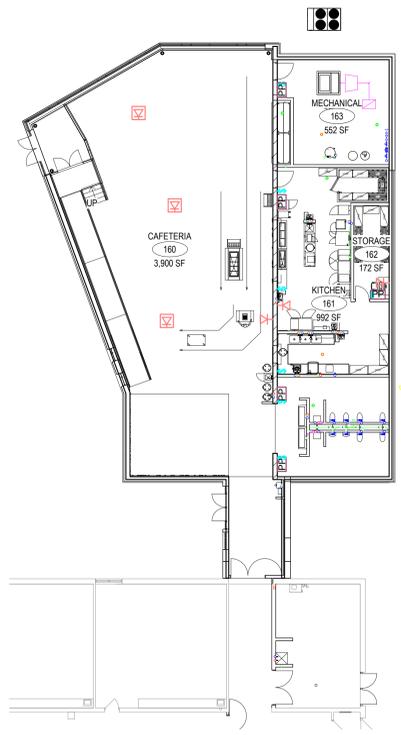


FIRE RESISTIVE LEGEND

FIRE WALLS	FIRE PARTITIONS	FIRE PARTITIONS
4FW 4FW 4FW 4FW 4FW 4FW	1FP 1FP 1FP 1FP 1FP 1FP	1 HOUR FIRE PARTITION
3FW 3FW 3FW 3FW 3FW 3FW	0.5FP 0.5FP 0.5FP 0.5FP 0.5FP 0.5FP	0.5 HOUR FIRE PARTITION (FOR EXISTING HOSPITAL CONSTRUCTION ONLY)
2FW 2FW 2FW 2FW 2FW 2FW	0.5 0.5 0.5 0.5 0.5 0.5	0.5 HOUR CORRIDOR PARTITION (FOR EXISTING HOSPITAL CONSTRUCTION ONLY)

FIRE BARRIERS	SMOKE TIGHT PARTITIONS	SMOKE TIGHT PARTITIONS
4FB 4FB 4FB 4FB 4FB 4FB	X X X X X X X X	SMOKE TIGHT PARTITION
3FB 3FB 3FB 3FB 3FB 3FB	X X X X X X X X	SMOKE TIGHT PARTITION (TO SMOKE TIGHT CEILING)
2FB 2FB 2FB 2FB 2FB 2FB	X X X X X X X X	SMOKE TIGHT PARTITION (WITHIN PLENUM ABOVE CEILING)
1FB 1FB 1FB 1FB 1FB 1FB	X X X X X X X X	SMOKE TIGHT PARTITION (SEPARATION OF INTERSTITIAL SPACES)

SHAFT ENCLOSURES	BEARING WALLS	BEARING WALLS
2SE 2SE 2SE 2SE 2SE 2SE	2BW 2BW 2BW 2BW 2BW 2BW	2 HOUR BEARING WALL
1SE 1SE 1SE 1SE 1SE 1SE	1BW 1BW 1BW 1BW 1BW 1BW	1 HOUR BEARING WALL



D1 OCCUPANCY PLAN - ADDITION
1/16" = 1'-0"

OCCUPANCY SCHEDULE - ADDITION

Number	Name	Function of Space Room Key	Area	Area per Occupant	Gross or Net	Occupant Total	Comments
163	MECHANICAL	Accessory Storage / Mech/Equipment	551.78 SF	300	Gross	2	
162	STORAGE	Accessory Storage / Mech/Equipment	171.58 SF	300	Gross	1	
160	CAFETERIA	Assembly w/o Fixed Seats - Unconcentrated	3,900.04 SF	15	Net	261	
161	KITCHEN	Kitchen - Commercial	991.87 SF	200	Gross	5	
Grand total 4			5,615.27 SF			269	



A5 LIFE SAFETY PLAN
1/16" = 1'-0"

E

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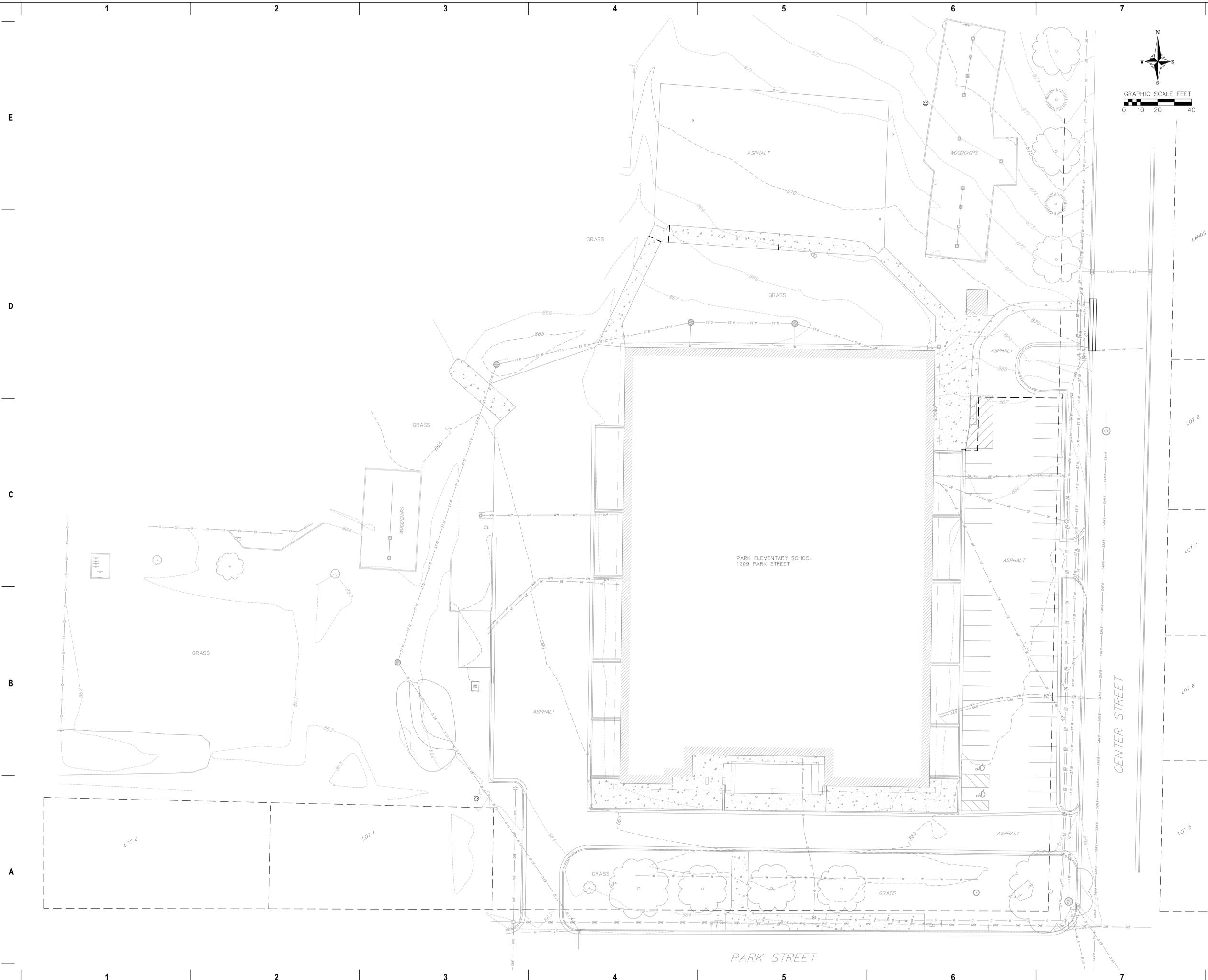
E

D

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A



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PROJECT INFORMATION

PARK ELEMENTARY RENOVATION & ADDITION

**1029 PARK STREET
CROSS PLAINS, WI
53528**

ISSUANCE AND REVISIONS

12/19/19 DESIGN DEVELOPMENT SET

KEY PLAN

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

SHEET INFORMATION

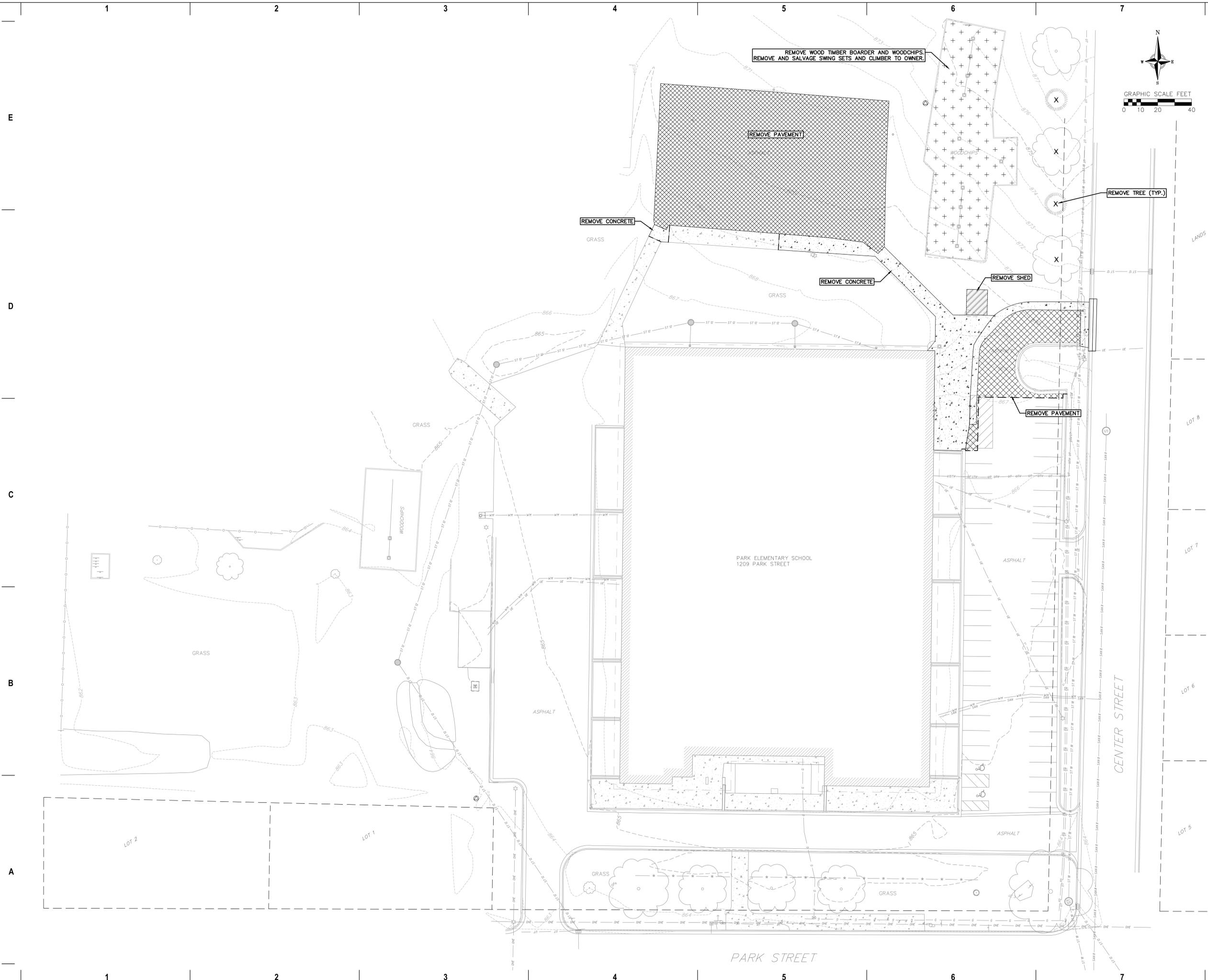
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NOT FOR CONSTRUCTION**

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

EXISTING CONDITIONS

C 200



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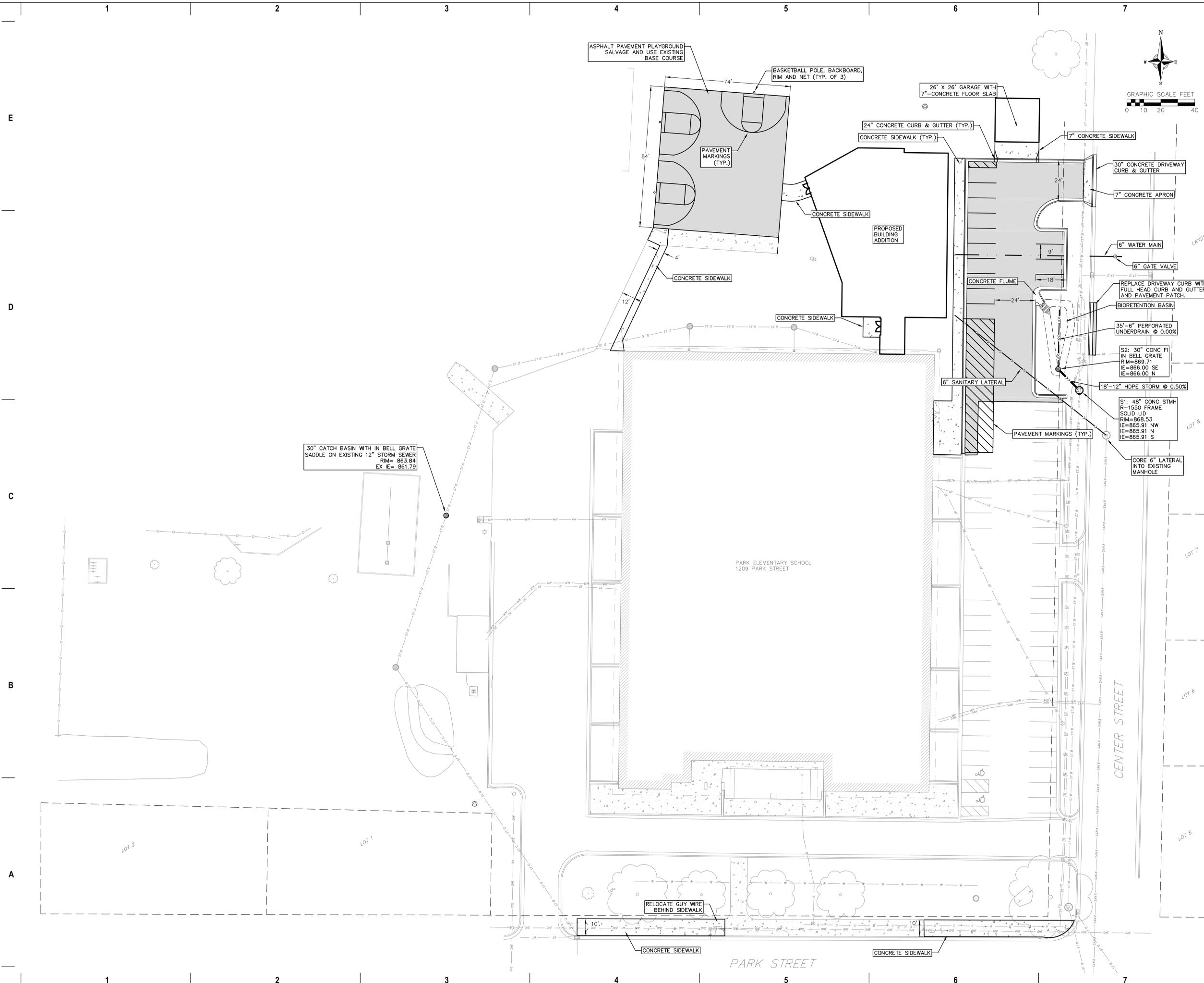
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PROJECT NUMBER 16517-01

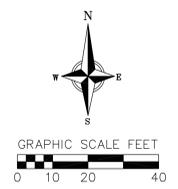
DEMOLITION PLAN

C 300



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RENOVATION &
ADDITION**

1029 PARK STREET
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ISSUANCE AND REVISIONS
12/19/19 DESIGN DEVELOPMENT SET

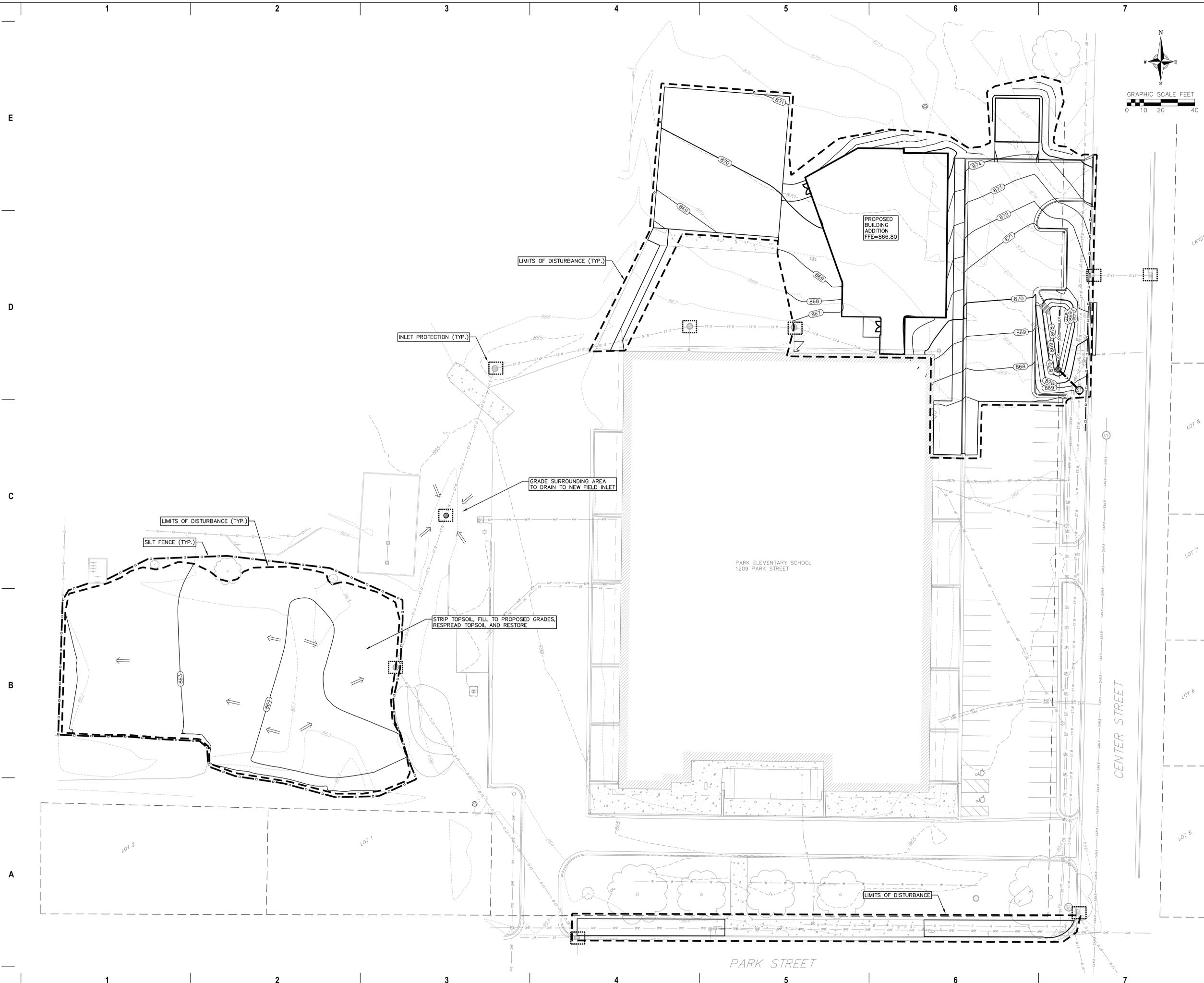
KEY PLAN

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

SITE AND UTILITY PLAN
C 400



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PROJECT INFORMATION

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ADDITION**

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CROSS PLAINS, WI
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ISSUANCE AND REVISIONS

12/19/19 DESIGN DEVELOPMENT SET

KEY PLAN

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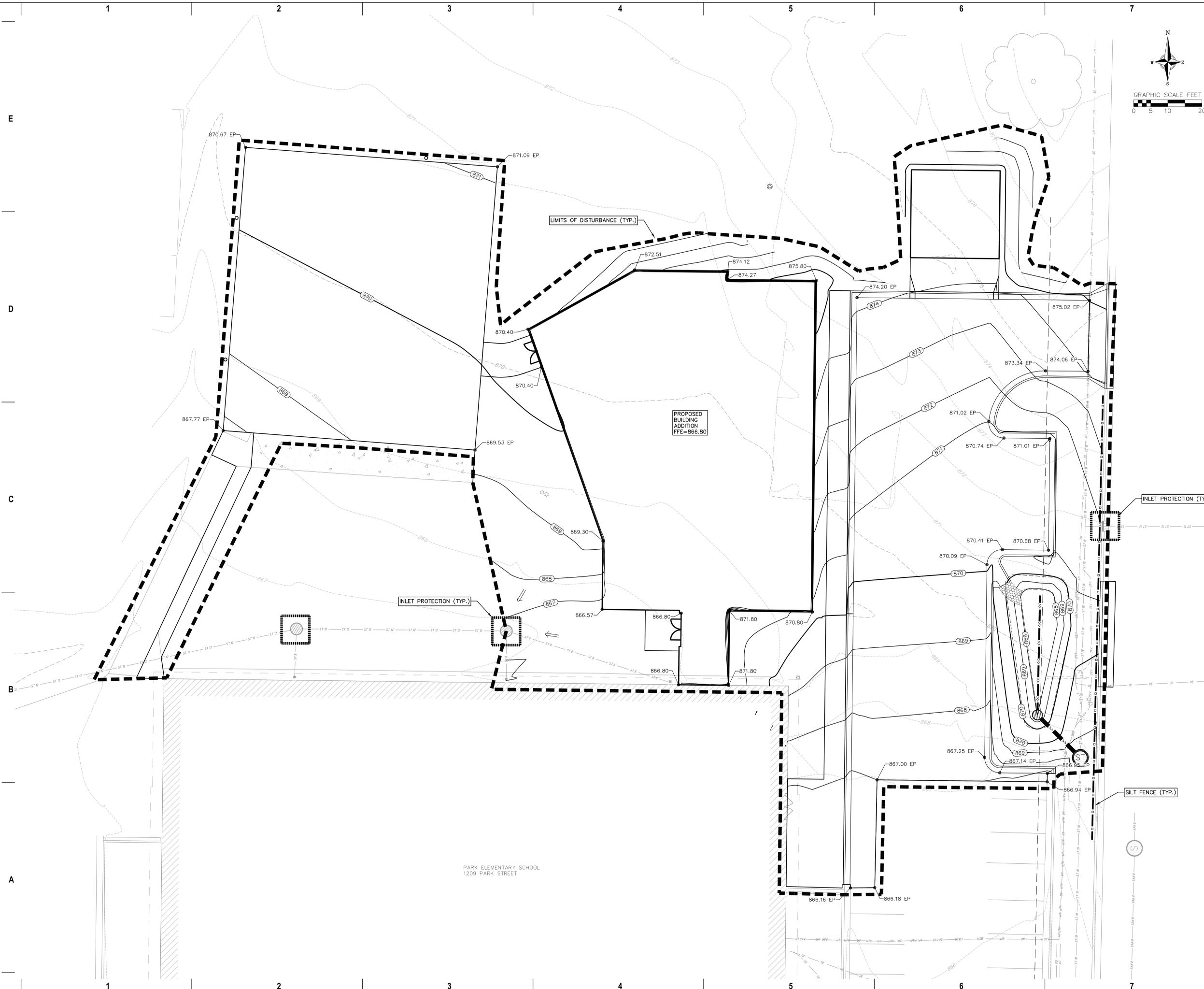
SHEET INFORMATION

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

**OVERALL
GRADING AND EROSION
CONTROL PLAN**

C 500



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PROJECT INFORMATION

**PARK ELEMENTARY
RENOVATION &
ADDITION**

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CROSS PLAINS, WI
53528**

ISSUANCE AND REVISIONS

12/19/19 DESIGN DEVELOPMENT SET

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

**NORTH
GRADING AND EROSION
CONTROL PLAN**

C 501

PROJECT INFORMATION

**PARK ELEMENTARY
RENOVATION &
ADDITION**

**D 1029 PARK STREET
CROSS PLAINS, WI
53528**

ISSUANCE AND REVISIONS

12/19/19 DESIGN DEVELOPMENT SET

KEY PLAN

B

SHEET INFORMATION

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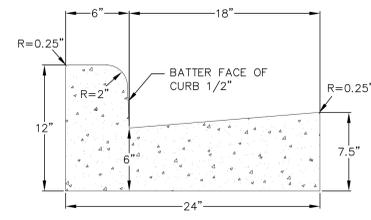
PROJECT MANAGER PM

PROJECT NUMBER 16517-01

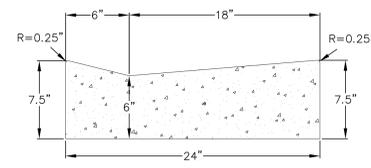
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DETAILS

C 600

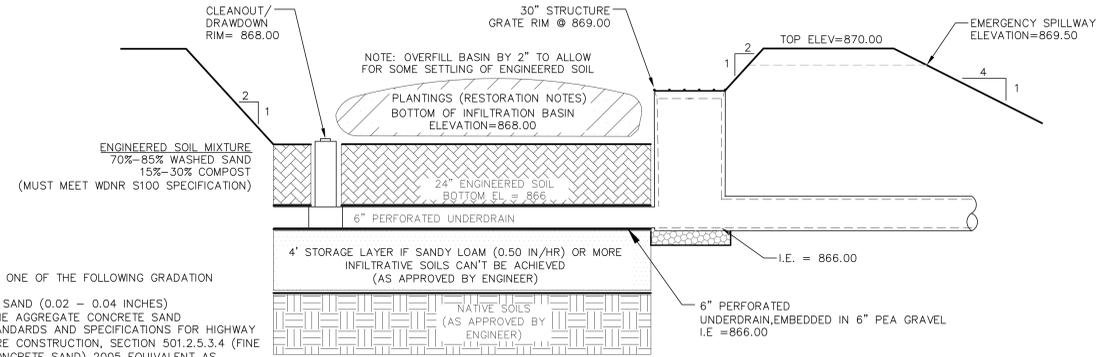


**CURB AND GUTTER
CROSS SECTION**



**DRIVEWAY AND HANDICAP
RAMP GUTTER CROSS SECTION**

1 24\"/>



STORAGE LAYER
SAND OR GRAVEL

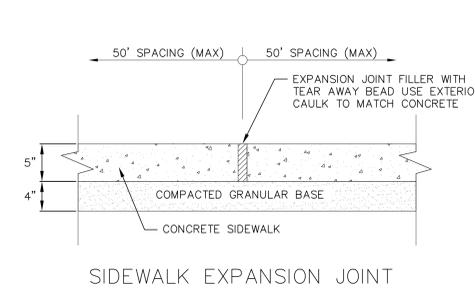
SAND SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

- USDA COARSE SAND (0.02 - 0.04 INCHES)
- ASTM C33 (FINE AGGREGATE CONCRETE SAND)
- WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4 (FINE AGGREGATE CONCRETE SAND) 2005 EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY

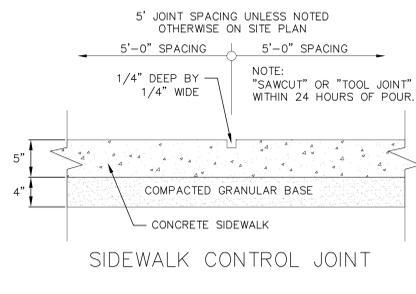
GRAVEL SHALL MEET:

- COARSE AGGREGATE #2 AND OTHER SPECIFICATIONS OF WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5, 203 EDITION OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY. GRAVEL SHALL BE DOUBLE-WASHED.

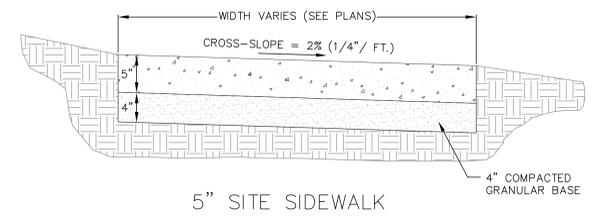
**1 BIO-RETENTION FACILITY CROSS-SECTION
NOT TO SCALE**



SIDEWALK EXPANSION JOINT

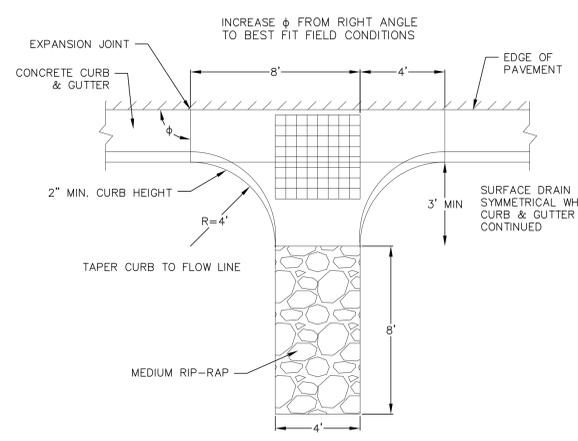


SIDEWALK CONTROL JOINT

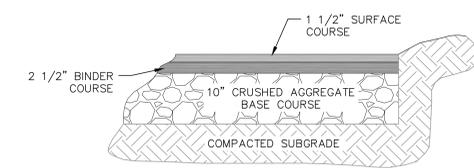


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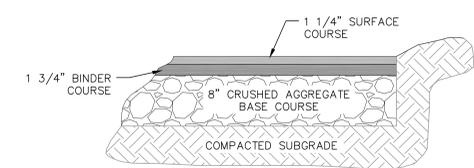
1 5\"/>



**1 CONCRETE SURFACE DRAIN
NOT TO SCALE**



**BITUMINOUS PAVEMENT
PARKING LOT**



**BITUMINOUS PAVEMENT
PLAYGROUND**

**1 SITE PAVEMENT
NOT TO SCALE**

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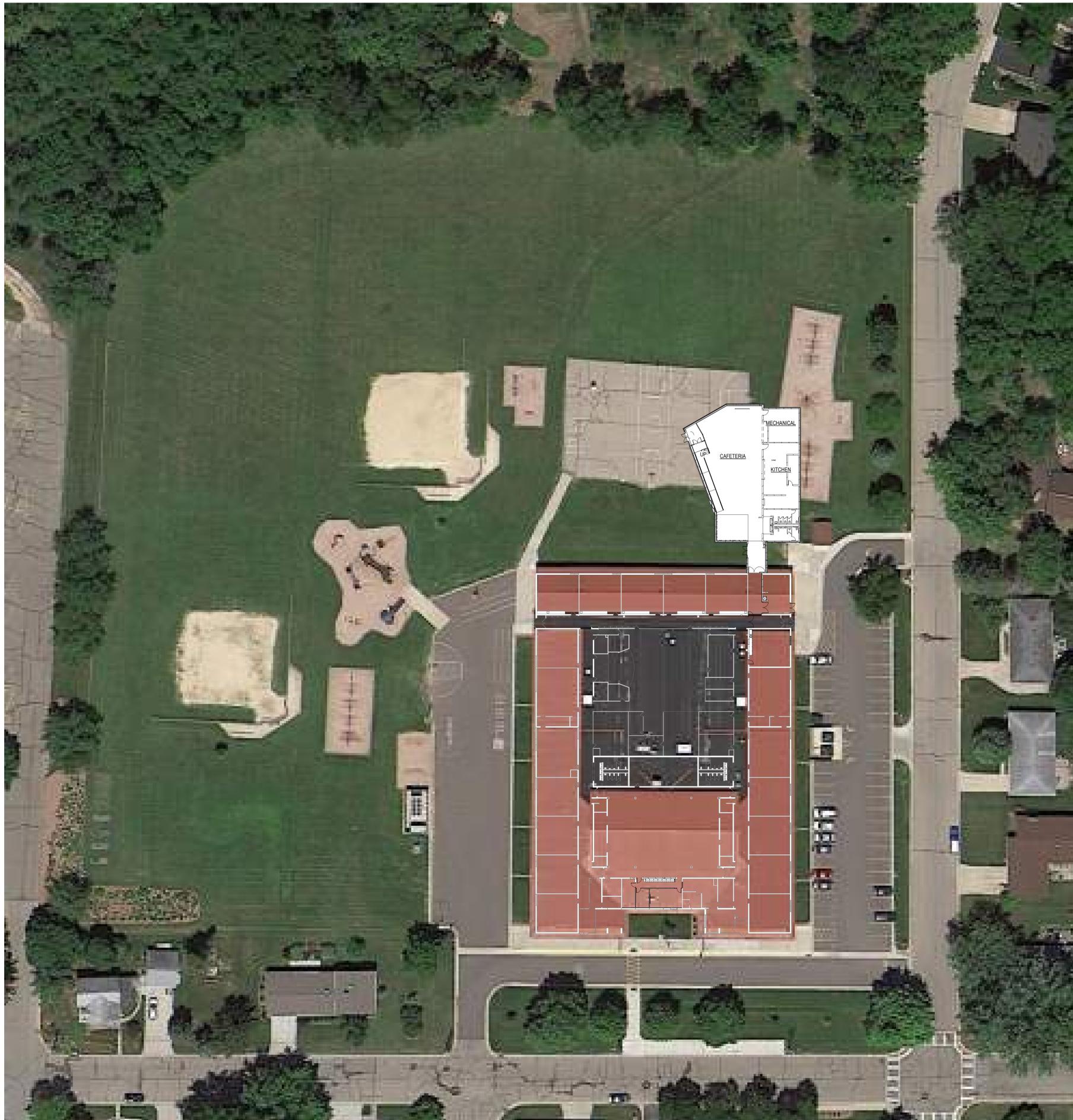
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PROJECT INFORMATION

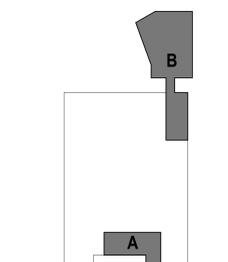
**PARK ELEMENTARY
RENOVATION &
ADDITION**

D 1209 PARK STREET
CROSS PLAINS, WI
53528

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/14/2019	SCHEMATIC DESIGN SET
12/19/2019	DESIGN DEVELOPMENT SET

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

ARCHITECTURAL
SITE PLAN OVERLAY

AS101

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KEYNOTES PER SHEET	
0241-01	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE
0241-03	REMOVE WALL
0241-04	REMOVE PORTION OF CMU WALL. COORDINATE EXTENTS WITH NEW CONSTRUCTION
0241-07	REMOVE GYP OR PLASTER CEILING
0241-08	REMOVE ACT CEILING AND GRID
0241-09	REMOVE EXTERIOR WINDOW
0241-10	REMOVE PORTION OF EXTERIOR WALL. COORDINATE EXTENT WITH NEW CONSTRUCTION
0241-11	REMOVE PORTION OF ROOF OVERHANG. COORDINATE EXTENT WITH NEW CONSTRUCTION
0241-15	REMOVE CASEWORK INCLUDING BASE, WALL AND WARDROBE CABINETS
0241-16	REMOVE PLUMBING FIXTURE. COORDINATE CAPPING WATER LINES AND DRAIN WITH NEW CONSTRUCTION
0241-17	REMOVE CUBBIES. RETURN TO OWNER TO BE RELOCATED.
0241-19	REMOVE MOP SINK, CAP RELATED PLUMBING SUPPLY AND WASTE LINES
0241-20	REMOVE WATER CLOSET, CAP RELATED PLUMBING SUPPLY AND WASTE LINES

PROJECT INFORMATION

PARK ELEMENTARY RENOVATION & ADDITION

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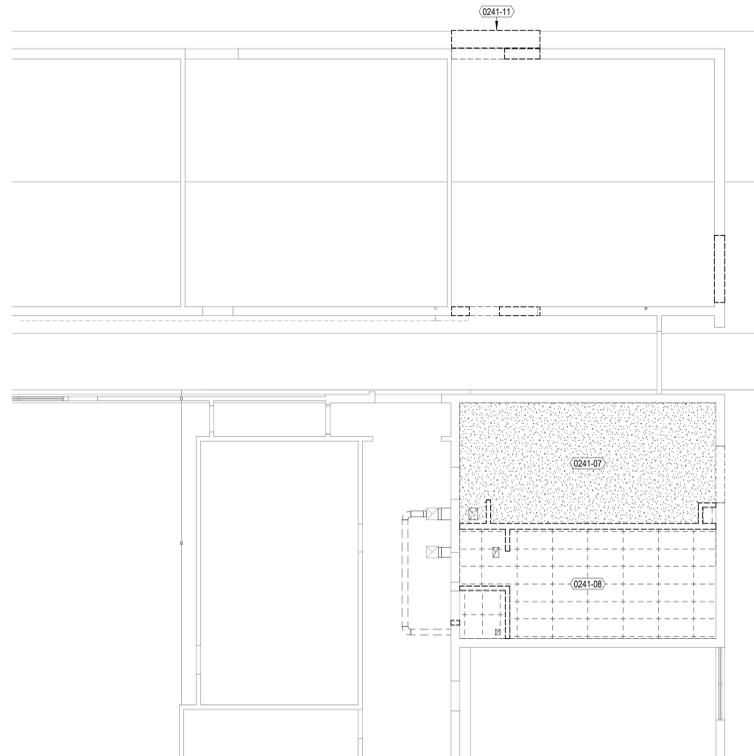
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PROJECT NUMBER 16517-01

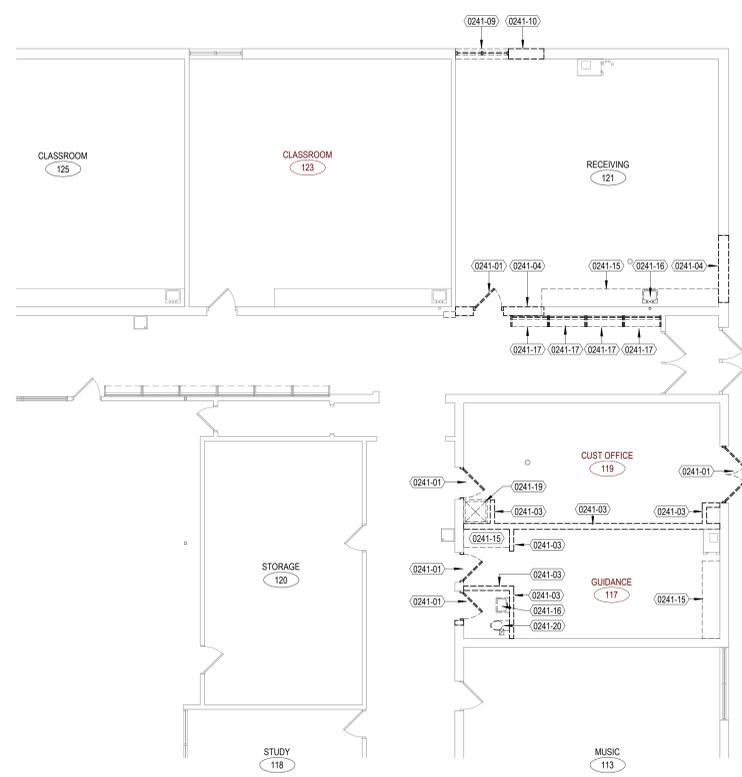
FIRST FLOOR DEMOLITION PLAN - AREA B

AD101B

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A3 FIRST FLOOR DEMOLITION RCP - AREA B
1/8" = 1'-0"



A6 FIRST FLOOR DEMOLITION PLAN - AREA B
1/8" = 1'-0"

1

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

PARTITION TYPES
AND BUILDING
SYSTEM NOTES

A010

WALL PRIORITY LEGEND

NOTE: THIS LEGEND IS FOR GRAPHIC REPRESENTATION ONLY.

HIGHEST	PRIORITY	LOWEST
FOUR HOUR FIRE WALL (4FW)	PRIORITY 1	
THREE HOUR FIRE WALL (3FW)	PRIORITY 2	
TWO HOUR FIRE WALL (2FW)	PRIORITY 3	
FOUR HOUR FIRE BARRIER (4FB)	PRIORITY 4	
THREE HOUR FIRE BARRIER (3FB)	PRIORITY 5	
TWO HOUR FIRE BARRIER (2FB)	PRIORITY 6	
TWO HOUR SMOKE BARRIER (2SB)		PRIORITY 7
TWO HOUR SHIRT ENCLOSURE (2SE)		PRIORITY 8
ONE HOUR FIRE BARRIER (1FB)		PRIORITY 9
ONE HOUR SMOKE BARRIER (1SB)		PRIORITY 10
ONE HOUR SHIRT ENCLOSURE (1SE)		PRIORITY 11
ONE HOUR FIRE PARTITION (0.5FP)		
HALF HOUR CORRIDOR PARTITION (0.5CP)		
SMOKE TIGHT PARTITION (X)		
SMOKE TIGHT PARTITION TO SMOKE TIGHT CEILING (XC)		
SMOKE TIGHT PARTITION WITHIN PLENUM ABOVE CEILING (XP)		
SMOKE TIGHT PARTITION SEPARATION OF INTERSTITIAL SPACES (XI)		

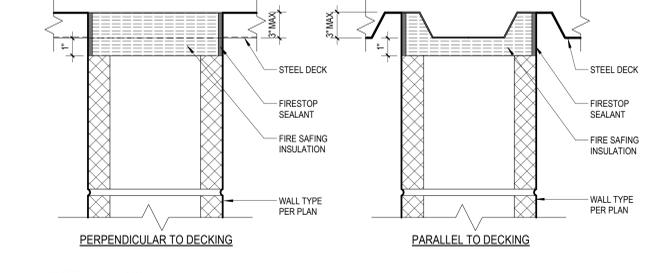
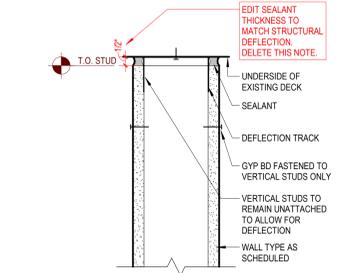
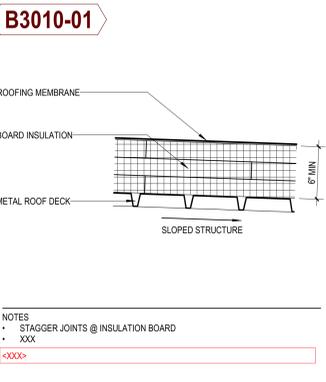
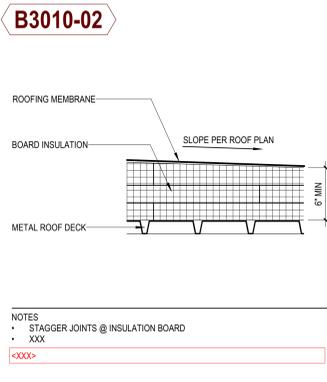
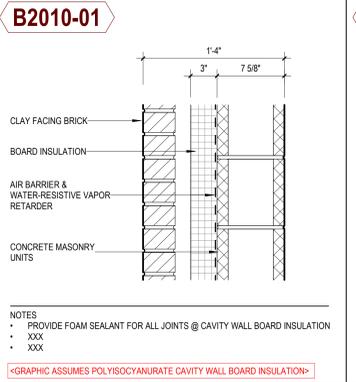
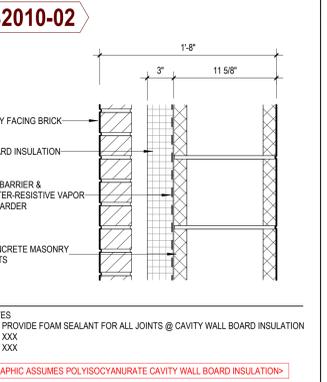
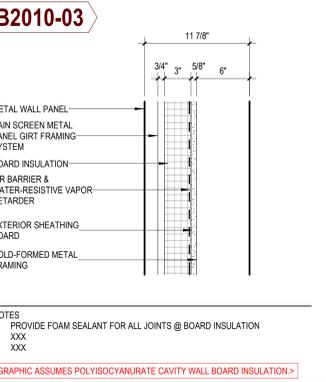
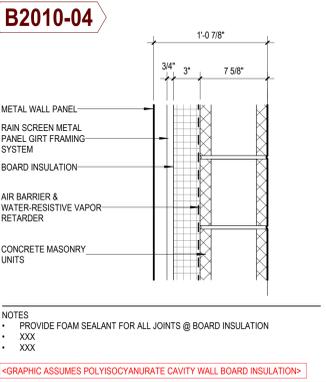
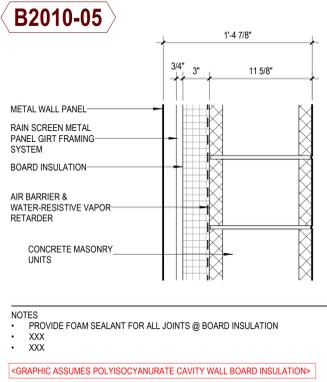
DETAIL ABUTMENT OF DISSIMILAR WALL

INTERSECTION OF RATED WALLS

NOTES:
1. SEE WALL TYPES -SHEET A010- FOR WALL COMPONENTS, NUMBER OF GYPSUM BOARD LAYERS, TYPE OF GYPSUM BOARD, AND OTHER SIMILAR INFORMATION.
2. THE HIGHER PRIORITY WALL SHALL PASS THROUGH THE LOWER PRIORITY WALL.
3. TAPING AND SEALING OF HIGHER PRIORITY WALLS SHALL BE CONTINUOUS.
4. ALTERNATE LAYERS OF GYPSUM BOARD SHALL OVERLAP AT CORNER INTERSECTIONS OF MULTILAYERED RATED GYPSUM BOARD PARTITIONS.

SHEET NOTES - WALL TYPES

- REFER TO LIFE SAFETY SHEETS <XXXX> FOR WALL RATINGS, LOCATIONS AND REQUIREMENTS.
- MAINTAIN RATED WALL ASSEMBLIES BEHIND PREFABRICATED SHOWER / BATH ENCLOSURES AT RATED WALL LOCATIONS.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD ON WALLS AT ALL WET LOCATIONS INCLUDING BUT NOT LIMITED TO TOILET ROOMS, JANITOR CLOSETS, MECHANICAL ROOMS, DRINKING FOUNTAINS, SINKS AND LAVATORIES AT CASEWORK AND EYEWASHES.
- REPLACE GYPSUM BOARD LAYER WITH CEMENTITIOUS BACKER BOARD WHERE WALLS ARE SCHEDULED TO RECEIVE CERAMIC TILE OR SOLID SURFACE WALL CLADDING.
- SEAL ALL PENETRATIONS AND OPENINGS INCLUDING WALL PERIMETER AT SOUND RATED WALLS.
- PROVIDE FIRE STOP SYSTEMS AT ALL PENETRATIONS AND OPENINGS THROUGH RATED WALL ASSEMBLIES TO MAINTAIN THE INTEGRITY OF CONSTRUCTION WITH UL LISTING.



UL SYSTEM # HW-D-0171
1 HR OR 2 HR RATED CMU/CONCRETE PARTITION TO METAL DECK - 1" JOINT (25% COMPRESSION OR EXTENSION)

B6 METAL STUD WALL / DECK - NON-RATED

3" x 1-1/2"

S#A S01

1(L) LAYER 5/8" GYP BD ROOM SIDE OF SCHED MTL STUDS. EXTEND TO UNDERSIDE OF DECK

SCHEDULED CEILING (AS OCCURS)

CONTINUOUS SEALANT @ PERIMETER (TOP & BOTTOM, ROOM SIDE)

FULL HGT & WIDTH SOUND BATT INSULATION

WALL TYPE #	DESCRIPTION	WIDTH	REF TEST	STC
S0A - S01	7/8" MTL FURRING CHANNELS	1-1/2"	-	-
S1A - S01	1-5/8" MTL STUDS	2-1/4"	-	-
S2A - S01	2-1/2" MTL STUDS	3-1/8"	-	27
S3A - S01	3-5/8" MTL STUDS	4-1/4"	-	27
S4A - S01	4" MTL STUDS	4-5/8"	-	27
S6A - S01	6" MTL STUDS	6-5/8"	-	28

B4 CMU NON-BEARING WALL / STEEL DECK - 1 HR & 2 HR

3" x 1-1/2"

M#A

1, 2, 3, OR 4 HOUR RATED WHERE INDICATED ON LIFE SAFETY SHEETS

BOTTOM OF DECK. SEE STRUCTURAL FOR SPECIFIC CONDITIONS

NON-LOAD BEARING CONCRETE MASONRY UNITS (CMU) WALL

S#A 01

BOTTOM OF DECK. SEE STRUCTURAL FOR SPECIFIC CONDITIONS

(1) LAYER 5/8" GYP BD ROOM SIDE OF SCHED MTL STUDS. EXTEND TO UNDERSIDE OF DECK

SCHEDULED CEILING (AS OCCURS)

CONTINUOUS SEALANT @ PERIMETER (TOP & BOTTOM, ROOM SIDE)

WALL TYPE #	DESCRIPTION	WIDTH	REF TEST	STC	STC SOLID	STC HOLLOW
M2A	2" CONC MASONRY UNIT	1-5/8"	-	-	-	-
M4A	4" CONC MASONRY UNIT	3-5/8"	-	46	44	-
M6A	6" CONC MASONRY UNIT	5-5/8"	UL 906	49	45	-
M8A	8" CONC MASONRY UNIT	7-5/8"	UL 907	52	46	-
M10A	10" CONC MASONRY UNIT	9-5/8"	UL 907	55	48	-
M12A	12" CONC MASONRY UNIT	11-5/8"	UL 907	59	49	-

S#A S11

1-LR RATED OR SMOKE TIGHT WHERE INDICATED ON LIFE SAFETY SHEETS

S#A S11

(1) LAYER 5/8" TYPE X GYP BD BOTH SIDES OF SCHED MTL STUDS. EXTEND TO UNDERSIDE OF DECK

SCHEDULED CEILING (AS OCCURS)

CONTINUOUS SEALANT @ PERIMETER BOTTOM & BOTH SIDES ALL CONDITIONS, TOP @ NON-RATED CONDITIONS

FULL HGT & WIDTH SOUND BATT INSULATION

WALL TYPE #	DESCRIPTION	WIDTH	REF TEST	STC
S1A - S11	1-5/8" MTL STUDS	2-7/8"	-	-
S2A - S11	2-1/2" MTL STUDS	3-3/4"	-	-
S3A - S11	3-5/8" MTL STUDS	4-7/8"	UL U465	45
S4A - S11	4" MTL STUDS	5-1/4"	UL U465	45
S6A - S11	6" MTL STUDS	7-1/4"	UL U465	45



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PROJECT INFORMATION

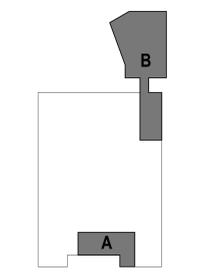
**PARK ELEMENTARY
RENOVATION &
ADDITION**

**D 1209 PARK STREET
CROSS PLAINS, WI
53528**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/14/2019	SCHEMATIC DESIGN SET
12/19/2019	DESIGN DEVELOPMENT SET

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

**FIRST FLOOR PLAN -
OVERALL**

A100

E

D

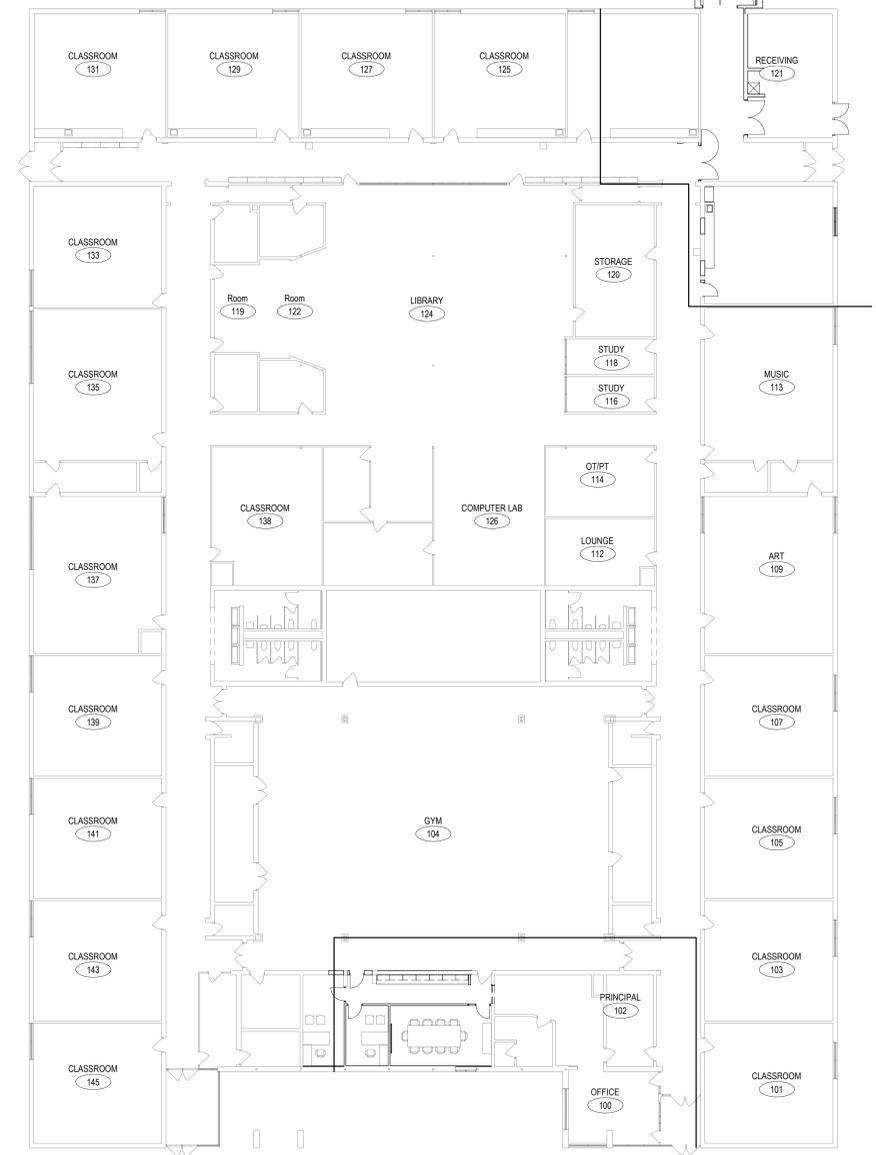
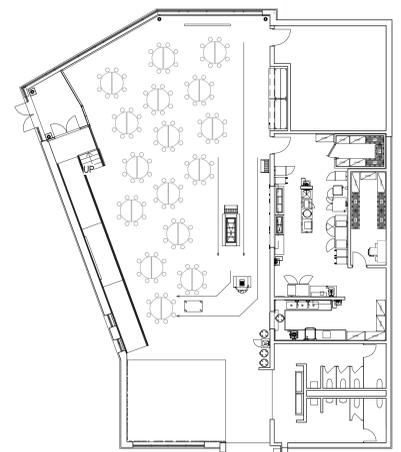
C

B

A

C

B



A5 FIRST FLOOR PLAN - OVERALL
1/16" = 1'-0"

1

2

3

4

5

6

7

1

2

3

4

5

6

7



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PROJECT INFORMATION

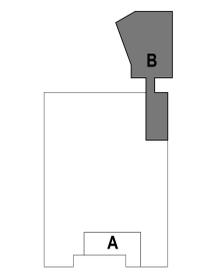
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ADDITION**

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ISSUANCE AND REVISIONS

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PROJECT MANAGER PM
PROJECT NUMBER 16517-01

FLOOR PLAN -
AREA B

A101B

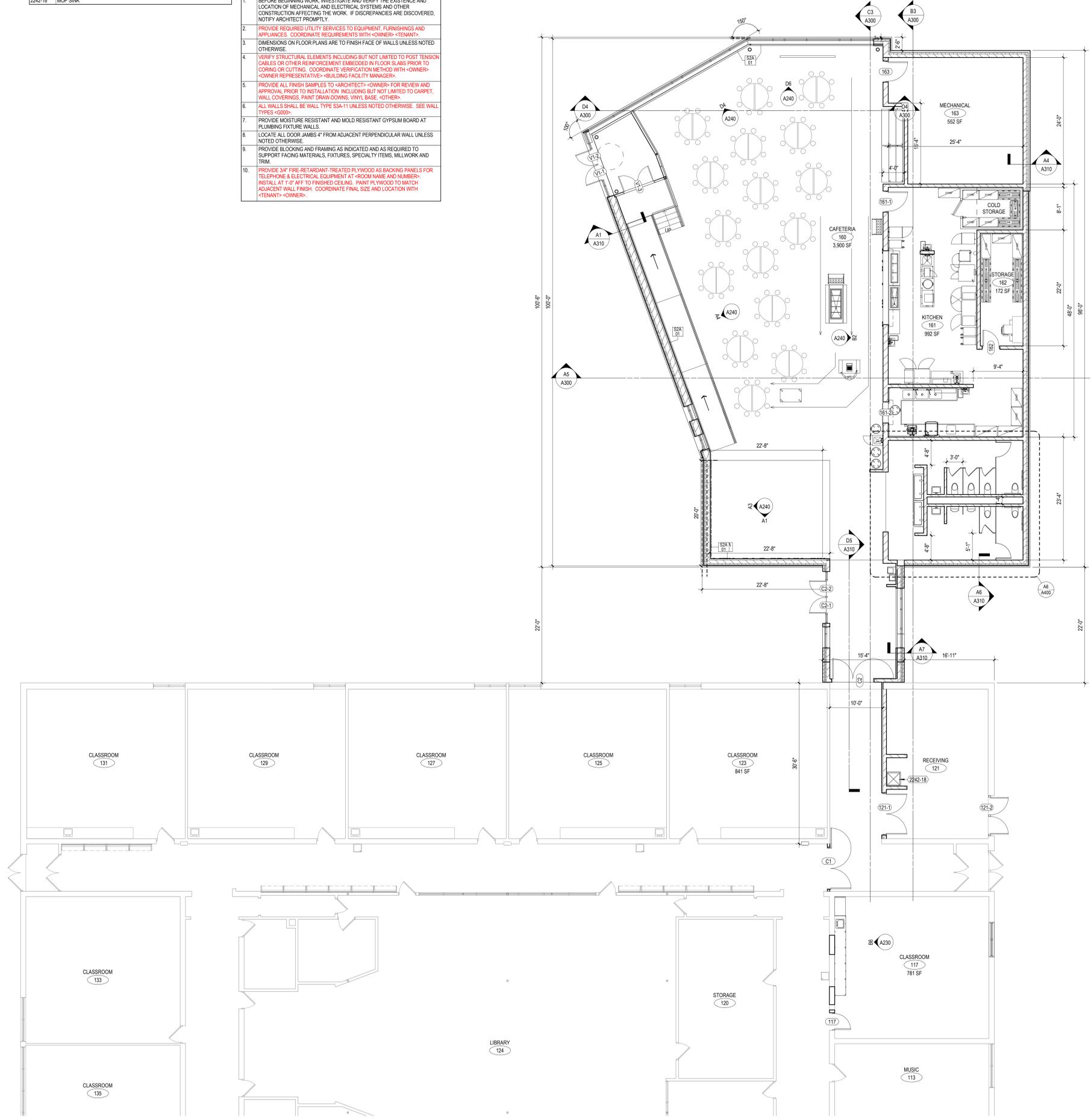
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KEYNOTES PER SHEET

2242-18 MOP SINK

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- PROVIDE REQUIRED UTILITY SERVICES TO EQUIPMENT, FURNISHINGS AND APPLIANCES. COORDINATE REQUIREMENTS WITH <OWNER> <TENANT>.
- DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
- VERIFY STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH <OWNER> <OWNER REPRESENTATIVE> <BUILDING FACILITY MANAGER>.
- PROVIDE ALL FINISH SAMPLES TO ARCHITECT <OWNER> FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION INCLUDING BUT NOT LIMITED TO CARPET, WALL COVERINGS, PAINT DRAW-DOWNS, VINYL BASE, <OTHER>.
- ALL WALLS SHALL BE WALL TYPE S3A-11 UNLESS NOTED OTHERWISE. SEE WALL TYPES <6000>.
- PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
- PROVIDE 3/4" FIRE-RETARDANT-TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT <ROOM NAME AND NUMBER>. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH <TENANT> <OWNER>.



A3 FLOOR PLAN - AREA B
1/8" = 1'-0"

KEYNOTES PER SHEET



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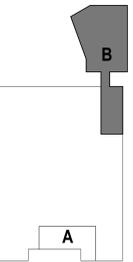
PROJECT INFORMATION
**PARK ELEMENTARY
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ROOF PLAN -
AREA B

A109

E

D

C

B

A

E

D

C

B

A

A3 ROOF PLAN - AREA B
1/8" = 1'-0"



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KEY PLAN

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PROJECT MANAGER PM

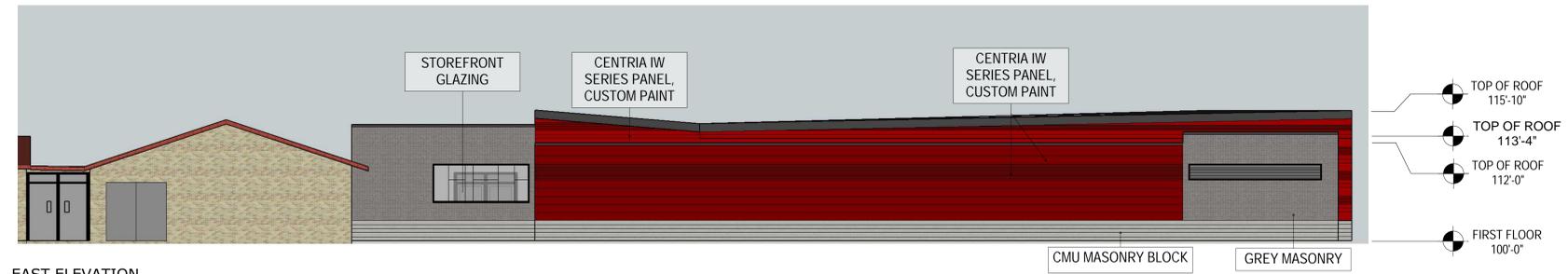
A PROJECT NUMBER 16517-01

EXTERIOR
ELEVATIONS

A200

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E



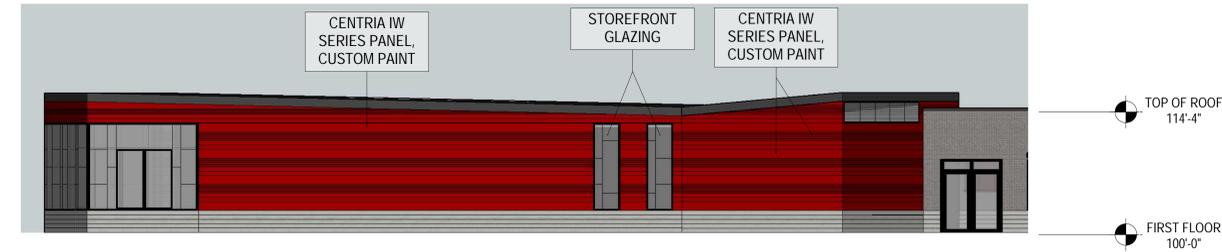
EAST ELEVATION
SCALE: 1/8" = 1'-0"

D



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

C



NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

B



WEST ELEVATION
SCALE: 1/8" = 1'-0"

A



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

1

2

3

4

5

6

7

1

2

3

4

5

6

7

1

2

3

4

5

6

7

KEYNOTES PER SHEET	
0620-01	CUSTOM RECLAIMED WOOD PANELING
0620-02	CUSTOM MILLWORK
0930-01	CERAMIC TILING
0972-01	CUSTOM POWDER-COATED METAL RAINDROPS
1014-01	DIMENSIONAL LETTERING
1246-34	CUSTOM METAL COAT HOOKS



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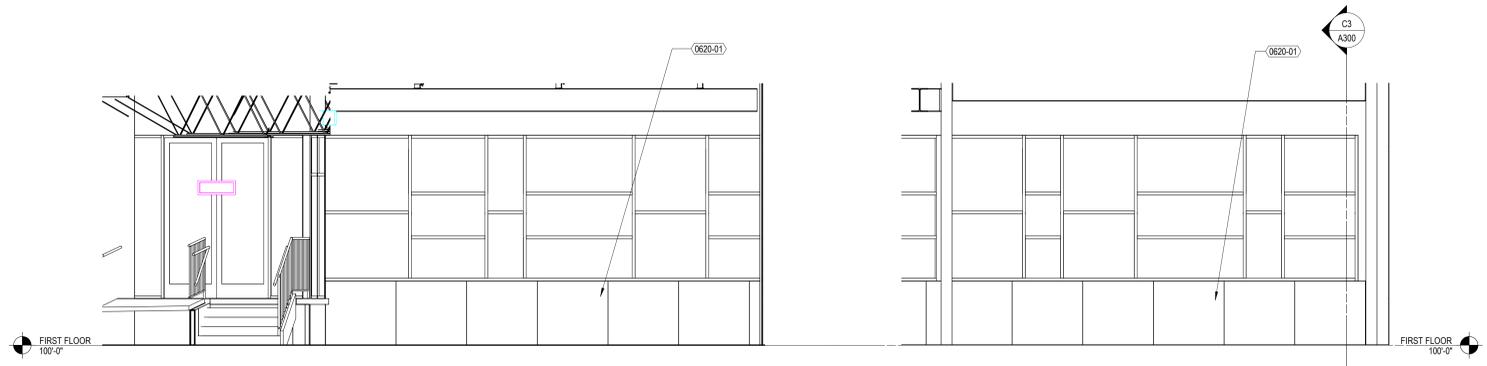
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DATE	DESCRIPTION
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E

D

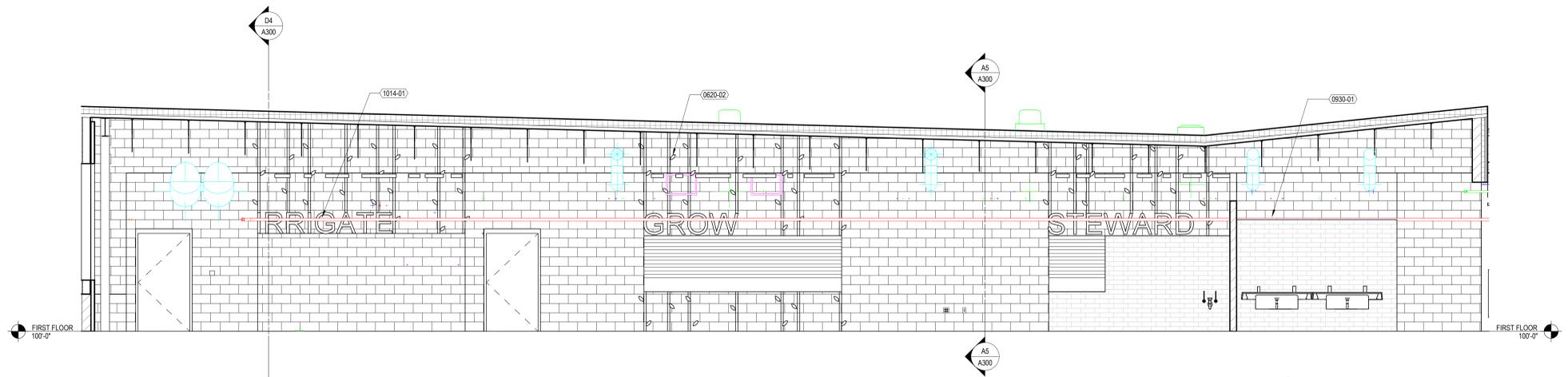


D4 NORTHWEST CURTAIN WALL AND VESTIBULE
1/4" = 1'-0"

D6 NORTH CURTAIN WALL
1/4" = 1'-0"

C

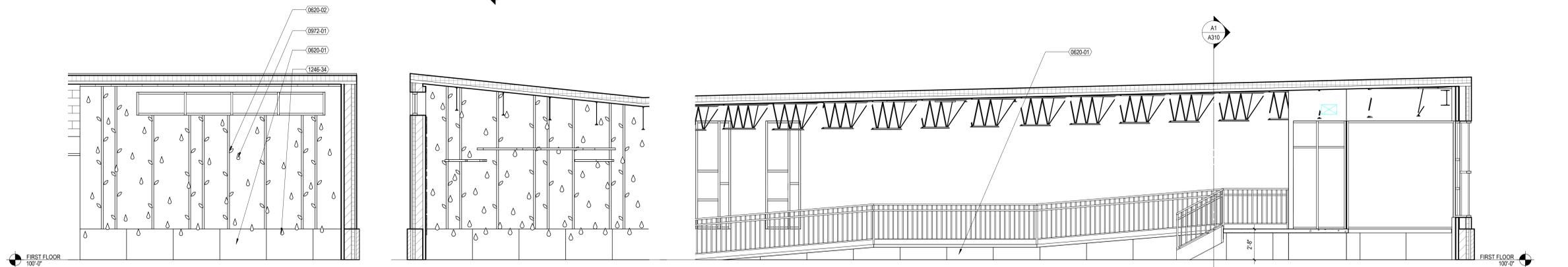
B



KEY PLAN

B2 EAST CAFETERIA WALL
1/4" = 1'-0"

A



A1 SOUTH COAT WALL
1/4" = 1'-0"

A3 WEST COAT WALL
1/4" = 1'-0"

A4 WEST RAMP WALL
1/4" = 1'-0"

SHEET INFORMATION

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INTERIOR
ELEVATIONS -
FINISHES

A240

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1

2

3

4

5

6

7

KEYNOTES PER SHEET



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PROJECT INFORMATION

**PARK ELEMENTARY
RENOVATION &
ADDITION**

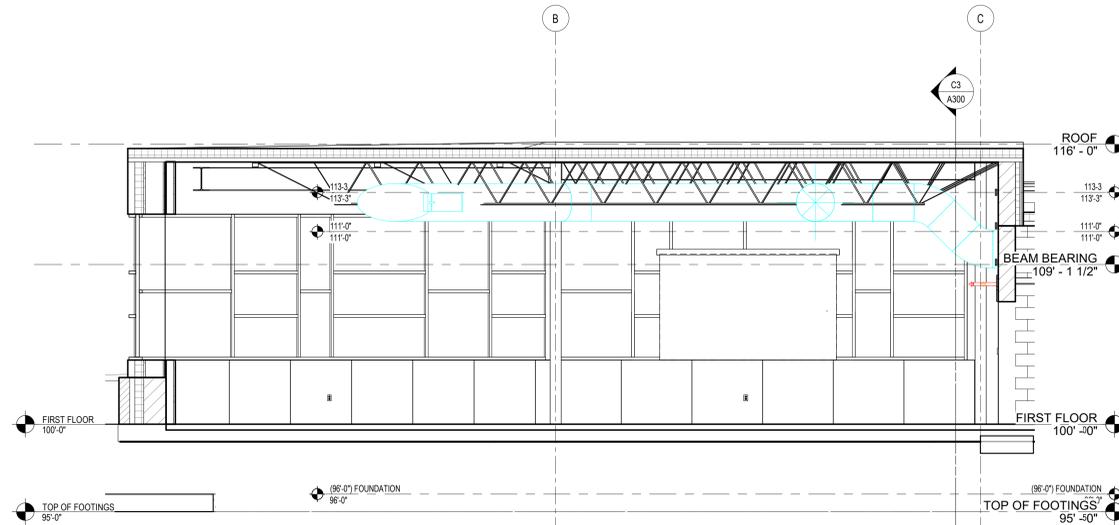
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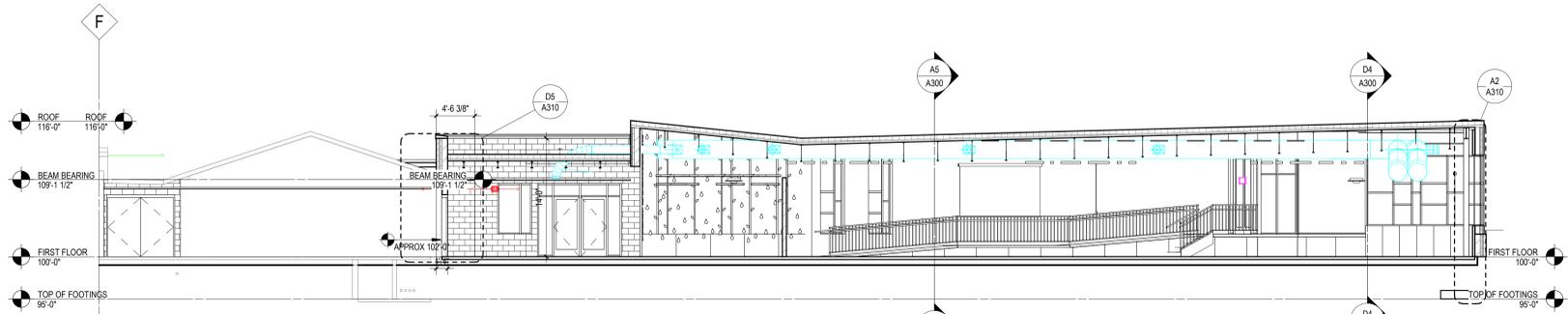
E

D



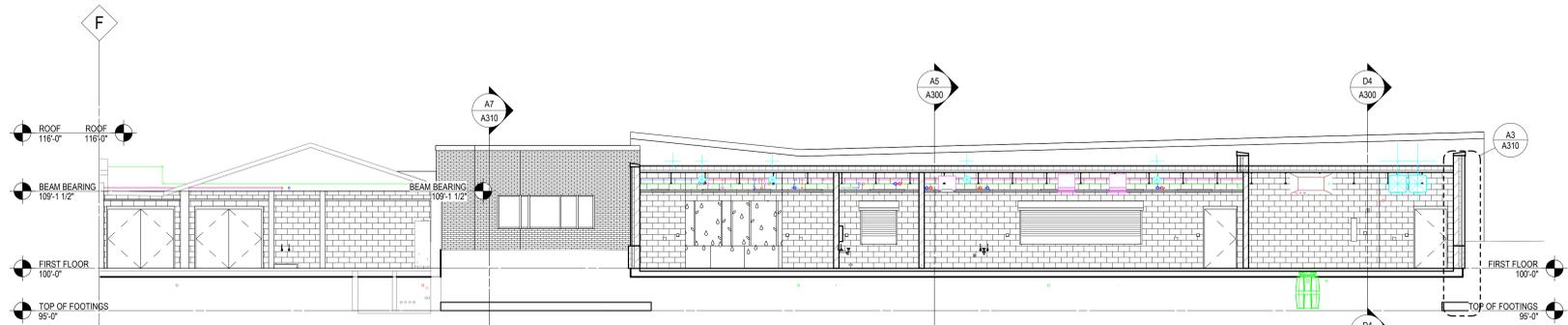
D4 EAST-WEST BLDG SECTION NORTH
1/4" = 1'-0"

C



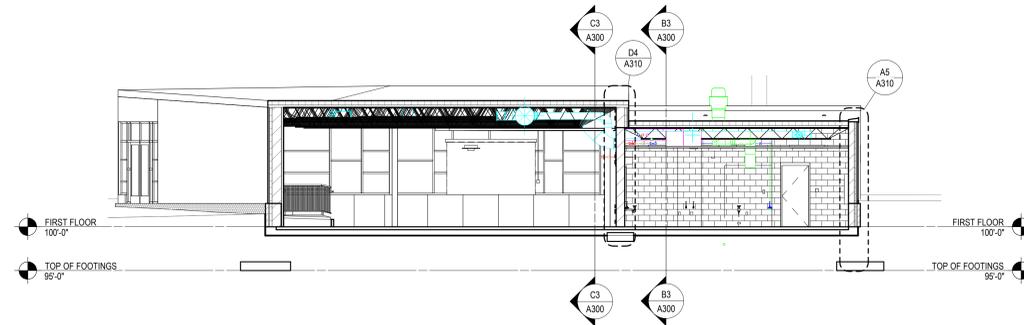
C3 NORTH-SOUTH BLDG SECTION 1
1/8" = 1'-0"

B



B3 NORTH-SOUTH BLDG SECTION 2
1/8" = 1'-0"

A



A5 EAST-WEST BUILDING SECTION 1
1/8" = 1'-0"

KEY PLAN

SHEET INFORMATION

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BUILDING SECTIONS

A300

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1

2

3

4

5

6

7

KEYNOTES PER SHEET	
B2010-01	<INSERT DESCRIPTION>
B2010-02	<INSERT DESCRIPTION>
B2010-03	<INSERT DESCRIPTION>
B2010-04	<INSERT DESCRIPTION>
B2010-05	<INSERT DESCRIPTION>
B3010-01	<INSERT DESCRIPTION>
B3010-02	<INSERT DESCRIPTION>



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PROJECT INFORMATION

**PARK ELEMENTARY
RENOVATION &
ADDITION**

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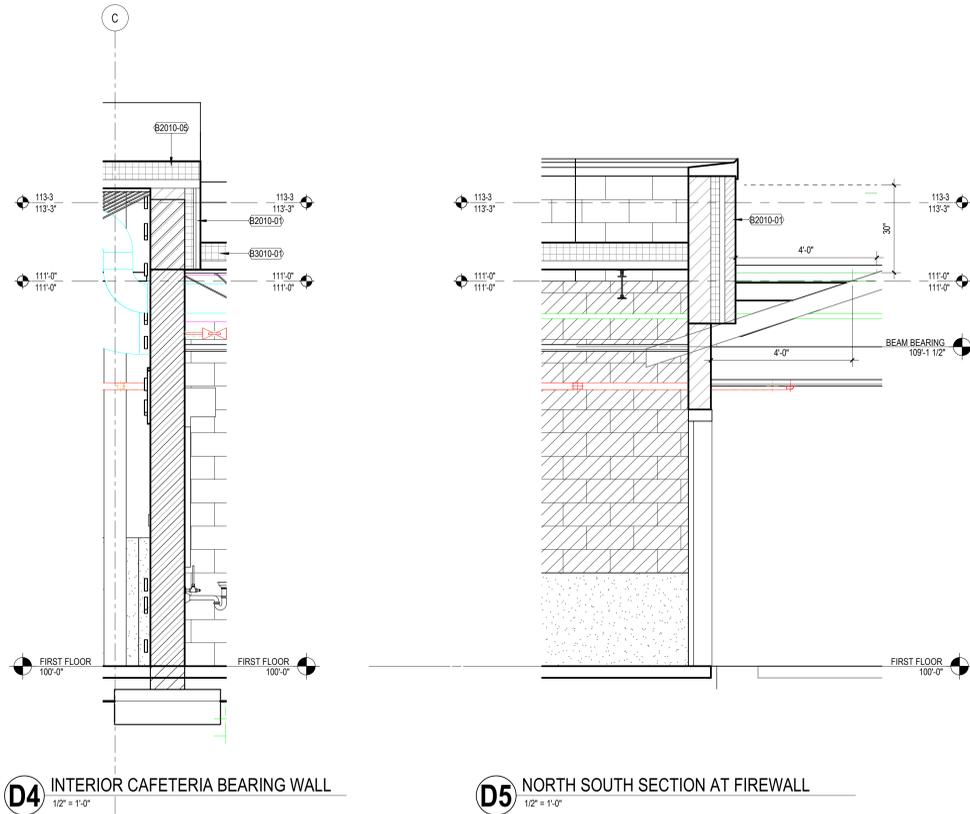
E

D

C

B

A



D4 INTERIOR CAFETERIA BEARING WALL
1/2" = 1'-0"

D5 NORTH SOUTH SECTION AT FIREWALL
1/2" = 1'-0"

C

KEY PLAN

B

SHEET INFORMATION

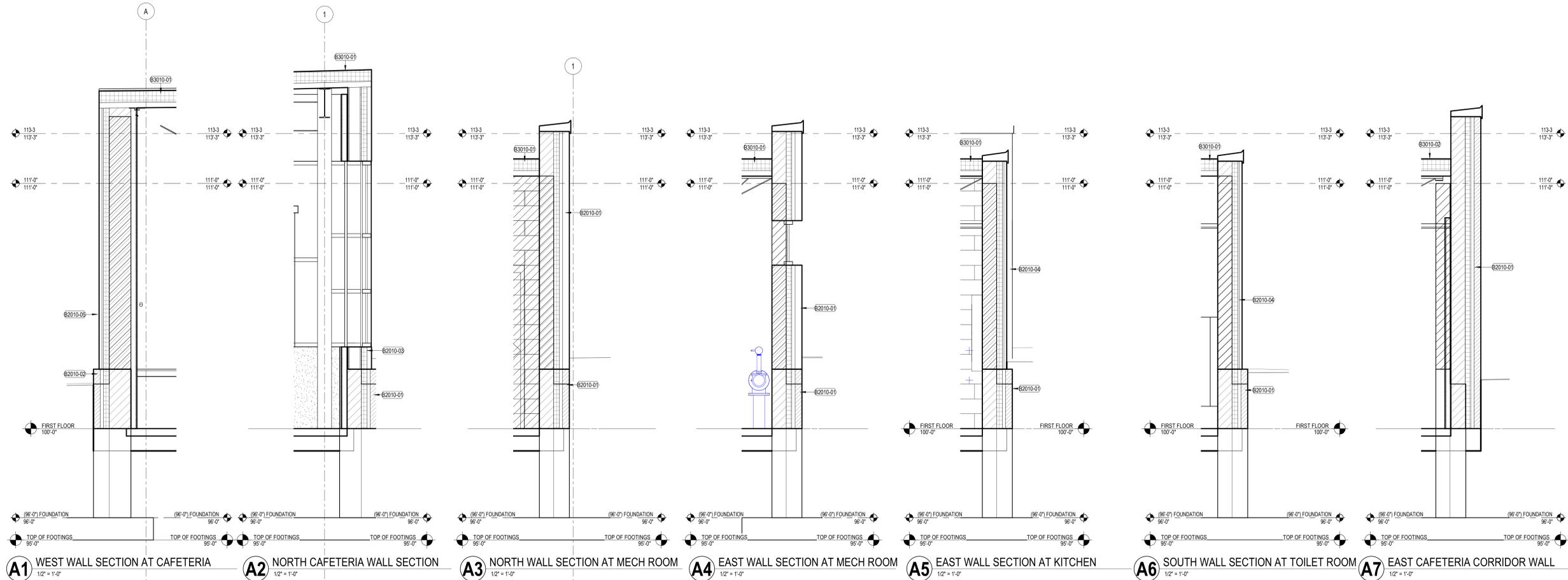
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WALL SECTIONS

A310



A1 WEST WALL SECTION AT CAFETERIA
1/2" = 1'-0"

A2 NORTH CAFETERIA WALL SECTION
1/2" = 1'-0"

A3 NORTH WALL SECTION AT MECH ROOM
1/2" = 1'-0"

A4 EAST WALL SECTION AT MECH ROOM
1/2" = 1'-0"

A5 EAST WALL SECTION AT KITCHEN
1/2" = 1'-0"

A6 SOUTH WALL SECTION AT TOILET ROOM
1/2" = 1'-0"

A7 EAST CAFETERIA CORRIDOR WALL
1/2" = 1'-0"

1

2

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6

7

1

2

3

4

5

6

7

E

D

C

B

A

MECHANICAL PIPING LEGEND		
DOUBLE ELBOW DOWN		DOUBLE ELBOW DOWN (AT CORNER)
ELBOW DOWN		ELBOW UP
TEE		TEE DOWN
ELBOW		TEE UP
ELBOW DOWN TO TEE		END CAP
TYPICAL TEE CONNECTION (PLANS ONLY)		REDUCER
AUTOMATIC AIR VENT		NEW TO EXISTING PIPE CONNECTION
WATER FLOW MEASURING DEVICE		FLOW DIRECTION ARROW
PIPE ANCHOR		MANUAL AIR VENT (MAV)
PIPE GUIDE / SLEEVE		PRESSURE GAUGE
BALANCING VALVE		UNION
CIRCUIT SETTER		PRESSURE RELIEF VALVE
PRESSURE REDUCING VALVE		PRESSURE/TEMPERATURE PORT
BALL VALVE/SHUT-OFF VALVE		AIR SEPARATOR
SILENT CHECK VALVE		PUMP OR PUMP
GLOBE VALVE		FLEX CONNECTION
TWO-WAY VALVE		THERMOMETER
THREE-WAY VALVE		ANALOG INPUT
BUTTERFLY VALVE		ANALOG OUTPUT
TRIPLE DUTY VALVE		DIGITAL INPUT
SHUT-OFF COCK		DIGITAL OUTPUT
STRAINER		NEW CONNECTION TO EXISTING
STRAINER WITH BLOWDOWN		
SUCTION DIFFUSER W/ STRAINER AND BLOWDOWN		
DRAIN VALVE		
DIFFERENTIAL PRESSURE SENSOR		

MECHANICAL HVAC LEGEND			
	EXHAUST AIR DUCT (DOWN)	AD	ACCESS DOOR
	EXHAUST AIR DUCT (UP)	AHU	AIR HANDLING UNIT
	RETURN AIR DUCT (DOWN)	BC	BOOSTER COIL
	RETURN AIR DUCT (UP)	CD	CEILING DIFFUSER
	OUTSIDE OR SUPPLY AIR DUCT (UP)	CUH	CABINET UNIT HEATER
	OUTSIDE OR SUPPLY AIR DUCT (DOWN)	EF	EXHAUST FAN
	NEW DUCTWORK	EG	EXHAUST GRILLE
	EXISTING DUCTWORK	L	LOUVER
	DEMOLITION LINETYPE	MD	MOTOR OPERATED DAMPER
	SUPPLY AIR CEILING DIFFUSER	NC	NORMALLY CLOSED
	CEILING DIFFUSER W/BLANKOFF	NO	NORMALLY OPEN
	RETURN AIR GRILLE	OA	OUTSIDE AIR
	EXHAUST AIR GRILLE	OED	OPEN ENDED DUCT
	DIFFUSER, GRILLE, AND REGISTER CALL-OUTS	RA	RETURN AIR
	MANUAL BALANCING DAMPER	RG	RETURN AIR GRILLE
	PIPE PENETRATION THROUGH FIRE RATED WALL	SA	SUPPLY AIR
	FIRE DAMPER (K-F)	SF	SUPPLY FAN
	SMOKE DAMPER (K-S)	SG	SUPPLY GRILLE
	FIRE/SMOKE DAMPER (K-C)	SR	SUPPLY REGISTER
	MOTORIZED DAMPER	TG	TRANSFER GRILLE
	SCHEDULED EQUIPMENT TAG	UH	UNIT HEATER
	THERMOSTAT/TEMPERATURE SENSOR		
	HUMIDISTAT		
	COMBINATION THERMOSTAT, HUMIDISTAT, AND CO2 SENSOR		
	DUCT SMOKE DETECTOR		

MECHANICAL SHEET INDEX	
M001	MECHANICAL NOTES, LEGENDS & ABBREVIATIONS
MD101	FIRST FLOOR MECHANICAL DEMOLITION PLAN
M101	FIRST FLOOR MECHANICAL PLANS - AREA A
M102	FIRST FLOOR MECHANICAL PLANS - AREA B
M401	MECHANICAL DETAILS
M402	MECHANICAL DETAILS
M501	MECHANICAL SCHEDULES
M501	MECHANICAL CONTROL DIAGRAMS
M502	MECHANICAL INPUT/OUTPUT SUMMARY



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PROJECT INFORMATION

**MIDDLETON -
CROSS PLAINS
AREA SCHOOL
DISTRICT - PARK
ELEMENTARY
RENOVATIONS**

**D 1209 Park St. Cross
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION

KEY PLAN

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**MECHANICAL
NOTES, LEGENDS &
ABBREVIATIONS**

M001



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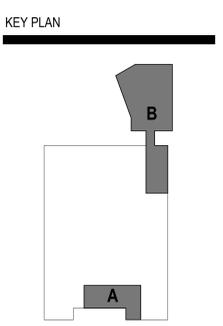
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PROJECT MANAGER

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FIRST FLOOR
MECHANICAL
DEMOLITION PLAN

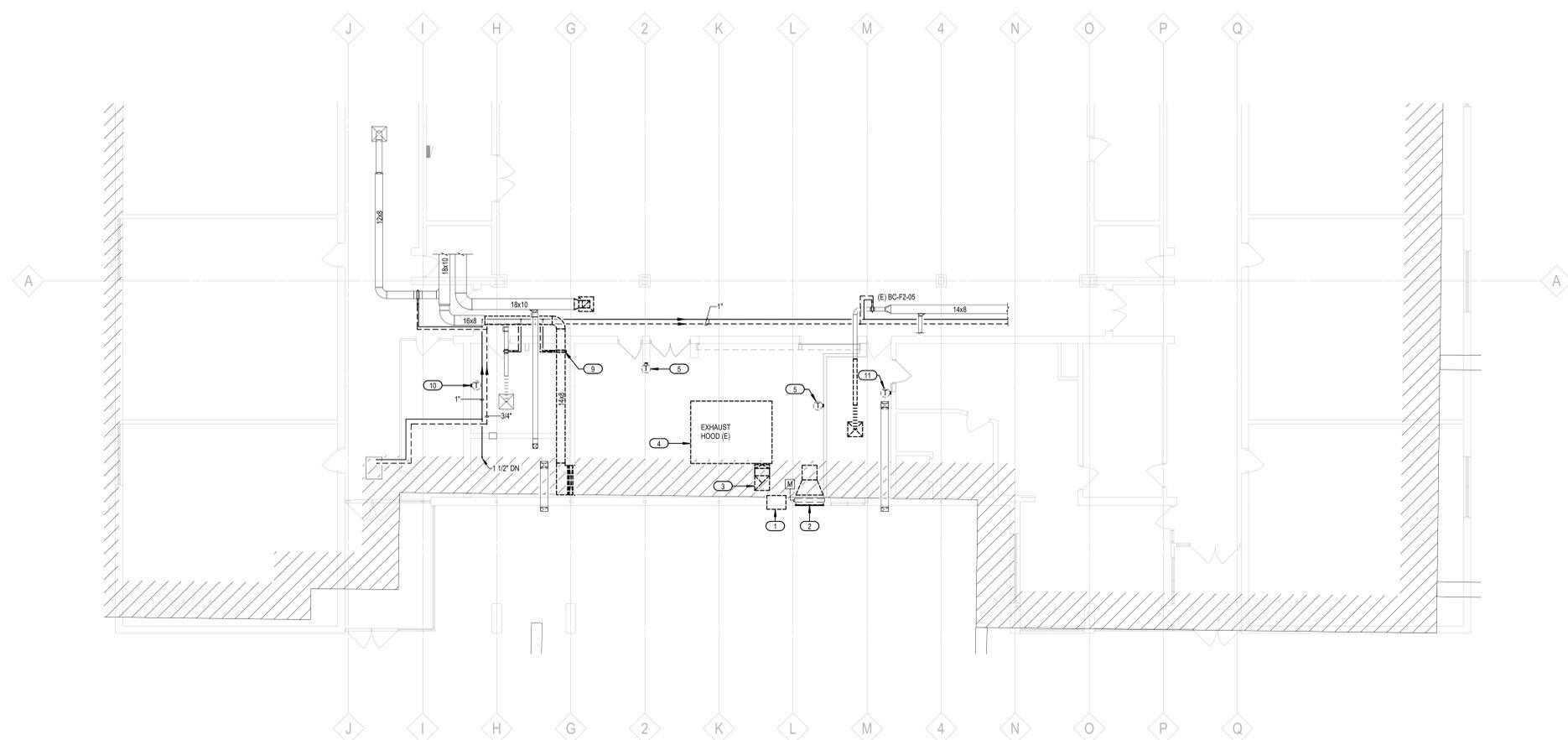
MD101

GENERAL NOTES

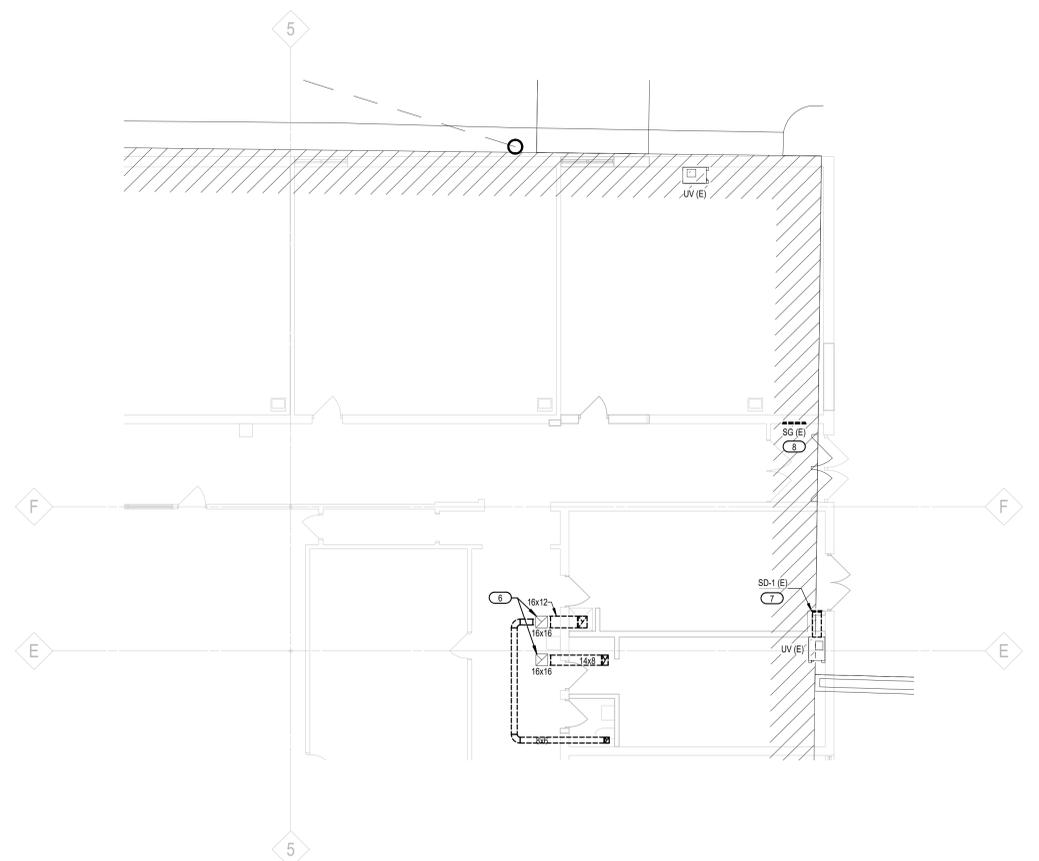
- COORDINATE REMOVAL OF ALL EQUIPMENT WITH OWNER AND WITH OTHER TRADES.
- VERIFY WITH OWNER EQUIPMENT TO BE SALVAGED.

KEYED NOTES

- DISCONNECT AND REMOVE WINDOW A/C UNIT. PATCH AND REPAIR OF WALL BY G.C. RETURN UNIT TO OWNER.
- DISCONNECT AND REMOVE FAN DAMPER, DUCTWORK AND ASSOCIATED CONTROLS. PATCH AND REPAIR OF WALL BY G.C.
- DISCONNECT AND REMOVE ROOF-MOUNTED EXHAUST FAN, DUCTWORK, AND ASSOCIATED CONTROL. PATCH AND REPAIR OF ROOF OF G.C.
- REMOVE KITCHEN EXHAUST HOOD IN ITS ENTIRETY.
- REMOVE WALL-MOUNTED T-STAT AND ALL ASSOCIATED CONTROL WIRING. COORDINATE PATCH AND REPAIR OF WALL BY G.C.
- EXHAUST DUCT RISERS UP TO ROOF MOUNTED EXHAUST FANS TO REMAIN. CAP AND SEAL AIRTIGHT. ALL DUCT OPENINGS REMAINING AFTER BRANCH DUCTWORK IS REMOVED.
- REMOVE SUPPLY GRILLE AND DUCTWORK BACK TO UNIT VENTILATOR. REFER TO 2M101 FOR NEW WORK.
- REMOVE AND REPLACE 30x6 SUPPLY GRILLE WITH NEW.
- DISCONNECT AND REMOVE DUCT-MOUNTED BOOSTER COIL. REUSE BOOSTER COIL WHERE INDICATED ON NEW WORK PLAN 1M101.
- REMOVE AND RELOCATE "COOLING" T-STAT TO NEW CONFERENCE ROOM WHERE INDICATED ON 1M101.
- REMOVE AND RELOCATE EXISTING BOOSTER COIL (BC-F2-05) T-STAT PER NEW WORK PLAN 1M101.



1 FIRST FLOOR MECHANICAL DUCT DEMO - AREA A
1/8" = 1'-0"



2 FIRST FLOOR MECHANICAL DUCT DEMO - AREA B
1/8" = 1'-0"



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PROJECT INFORMATION

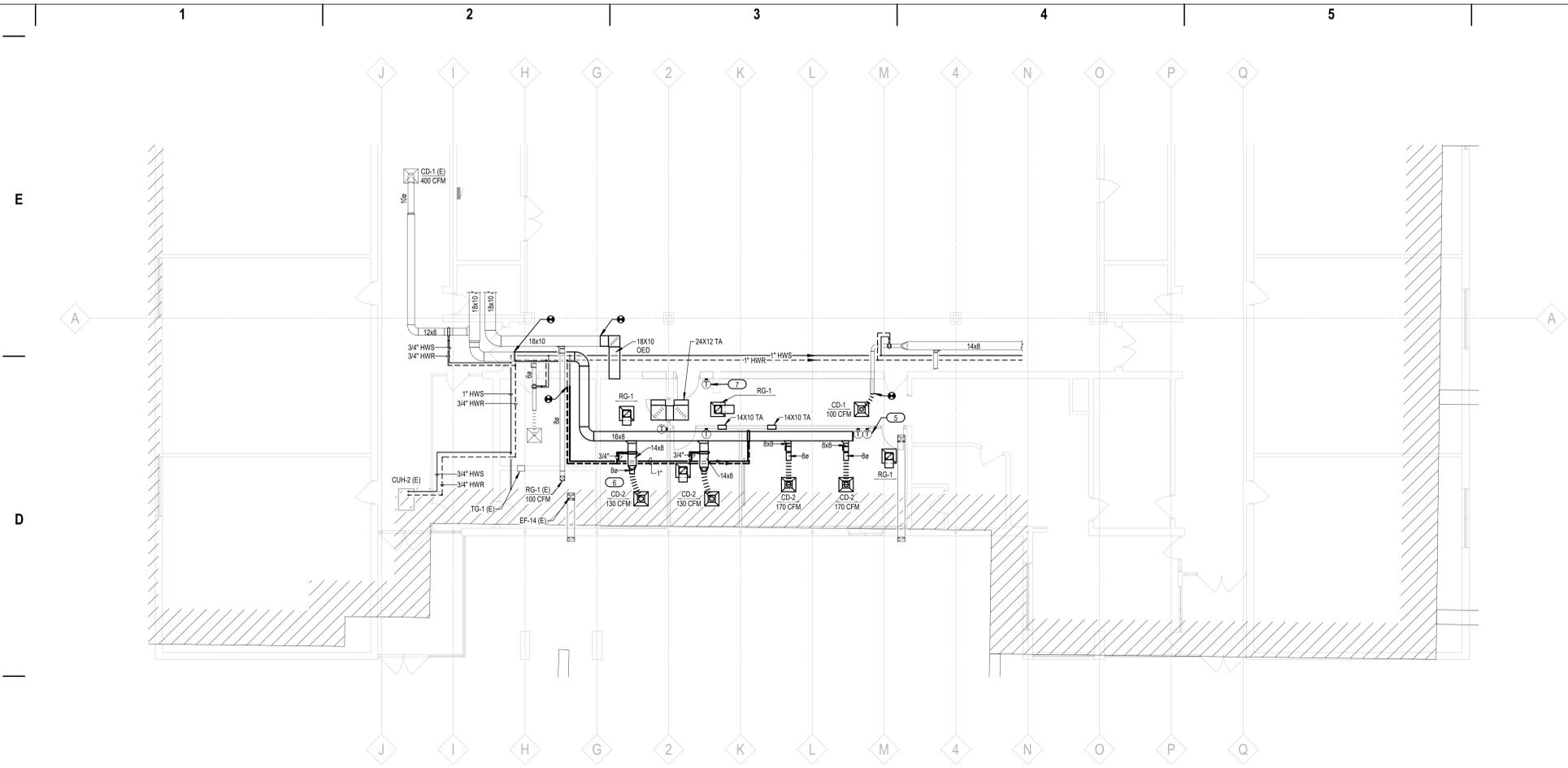
**MIDDLETON -
CROSS PLAINS
AREA SCHOOL
DISTRICT - PARK
ELEMENTARY
RENOVATIONS**

D 1209 Park St. Cross
Plains, WI 53528

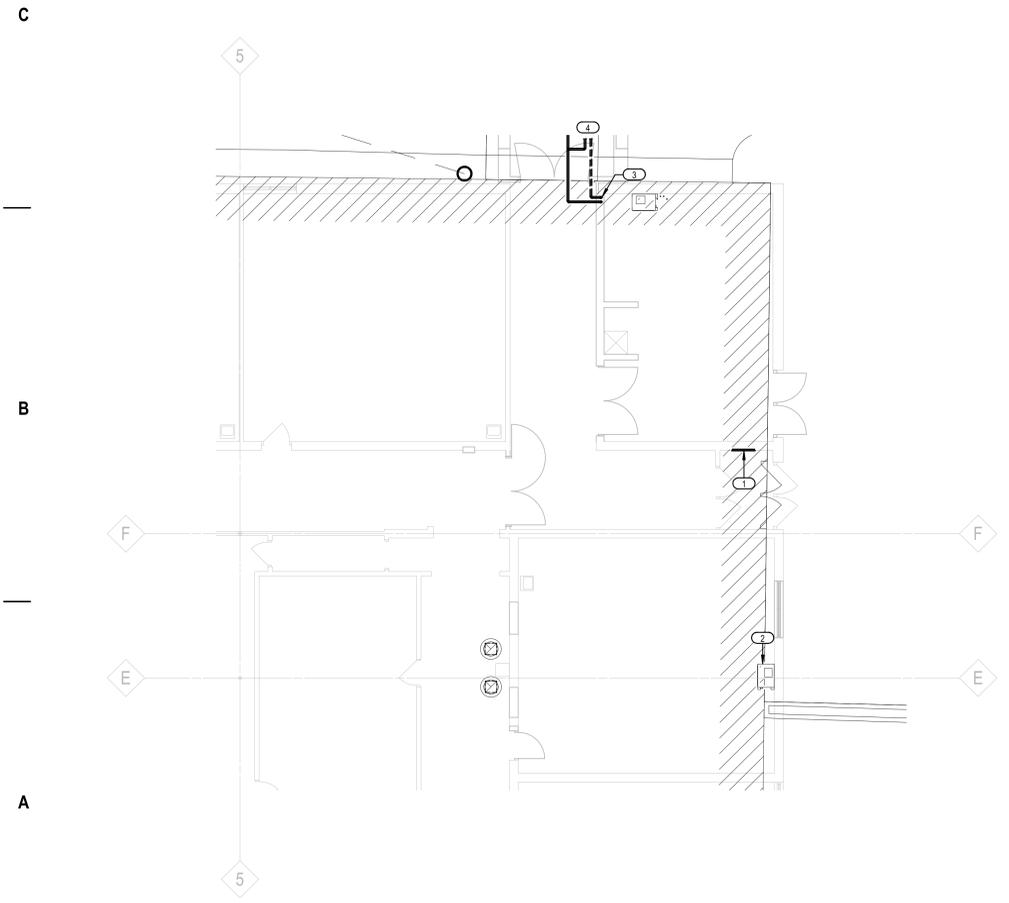
ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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- GENERAL NOTES**
1. ALL NEW AND EXISTING EQUIPMENT AND TEMPERATURE CONTROL WIRING INSTALLED ABOVE CEILING SHALL BE PLENUM RATED.
- KEYED NOTES**
- 1. PROVIDE NEW SG-1.
 - 2. PROVIDE NEW SR-1 ON EXISTING UNIT VENTILATOR SUPPLY PLENUM TO MATCH EXISTING. GRILLE COLOR SHALL MATCH EXISTING.
 - 3. ROUTE NEW 2" HWS/R DOWN THROUGH WALL CAVITY TO PIPE TUNNEL BELOW FLOOR AND CONNECT AS SHOWN ON 2M102.
 - 4. CONTINUE 2" HWS/R TO NEW ADDITION. REFER TO 1M102 FOR CONTINUATION.
 - 5. RELOCATED "COOLING" T-STAT. INSTALL ADJACENT TO BOOSTER COIL TEMPERATURE SENSOR. PROVIDE ALL NEW TEMPERATURE CONTROL WIRING.
 - 6. REUSE EXISTING 14x8 BOOSTER COIL TO SERVE OFFICE 151 AS SHOWN. PROVIDE ALL NEW TEMPERATURE CONTROL WIRING, CONTROL VALVE, AND WALL-MOUNTED TEMPERATURE SENSOR.
 - 7. RELOCATED BOOSTER COIL (BC-F2-05) T-STAT. PROVIDE NEW CONTROL WIRING AND CONNECTIONS.

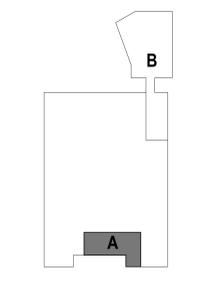


1 FIRST FLOOR DUCTWORK PLAN - AREA A
1/8" = 1'-0"



2 FIRST FLOOR DUCTWORK PLAN - AREA B
1/8" = 1'-0"

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER
PROJECT NUMBER 16517-01

**FIRST FLOOR
MECHANICAL PLANS
- AREA A**

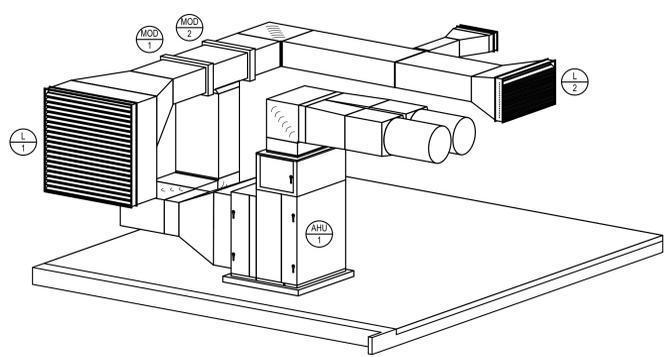
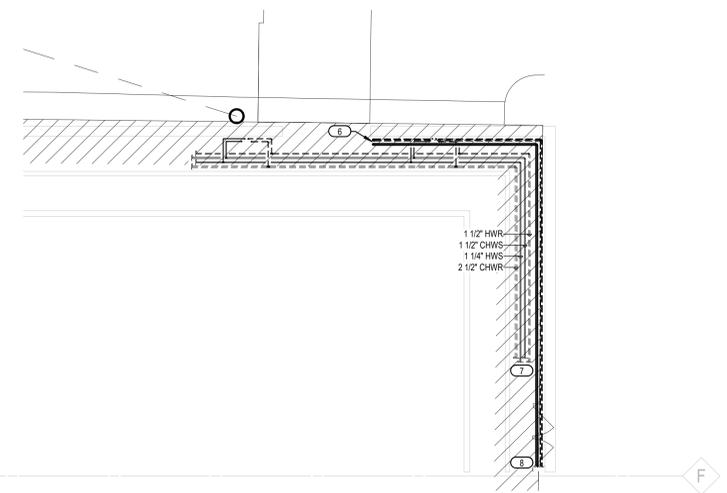
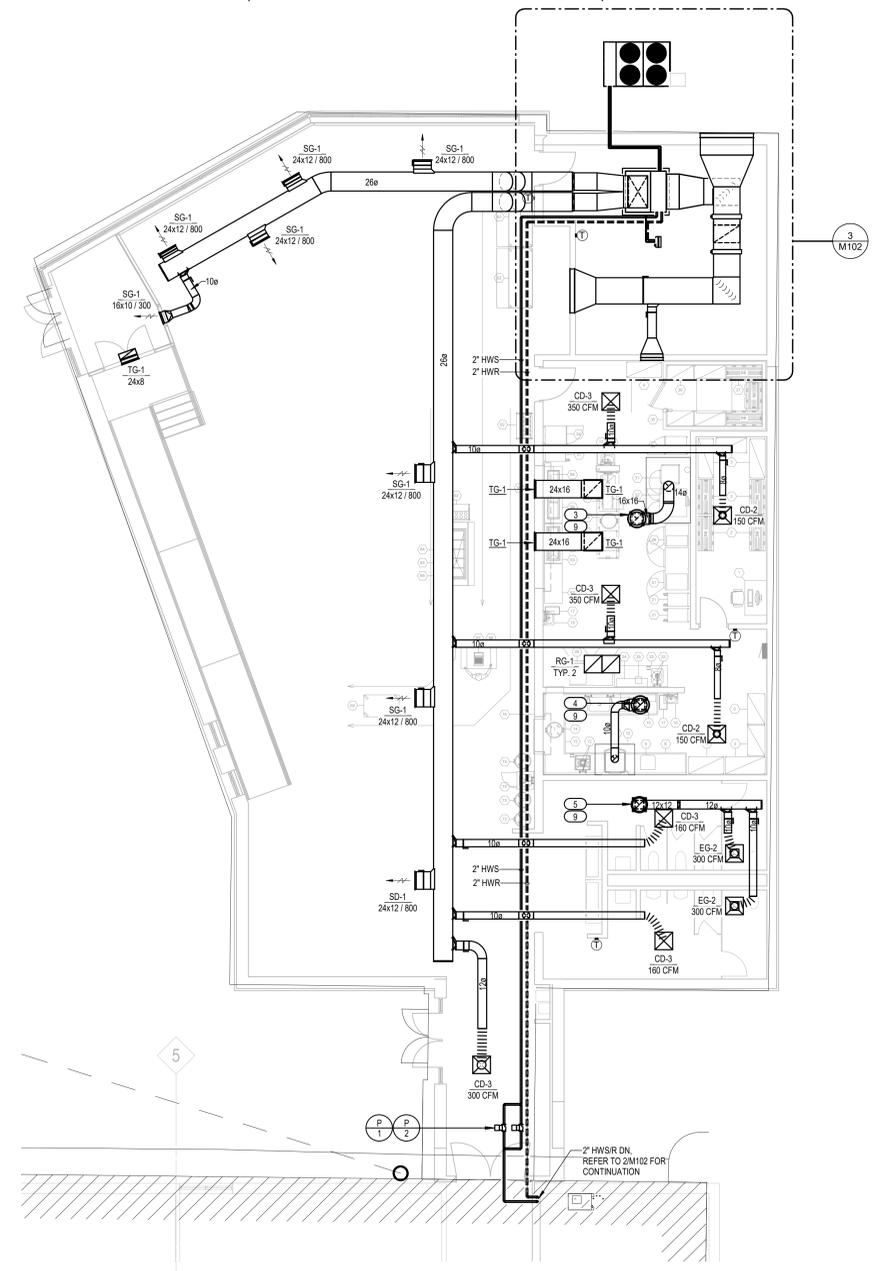
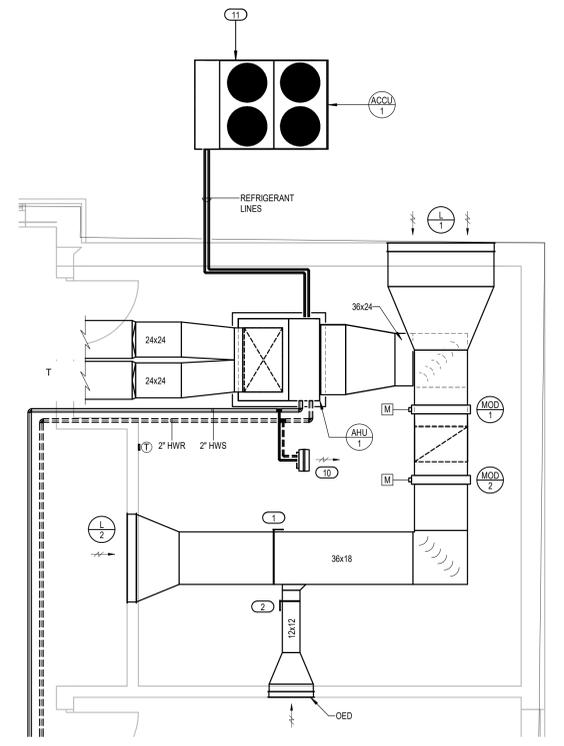
M101

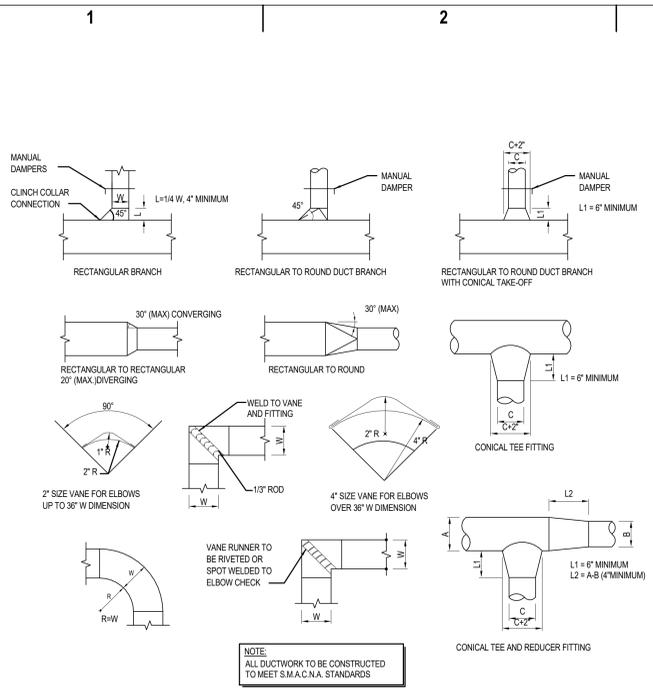
GENERAL NOTES

- 1.
- 2.
- 3.

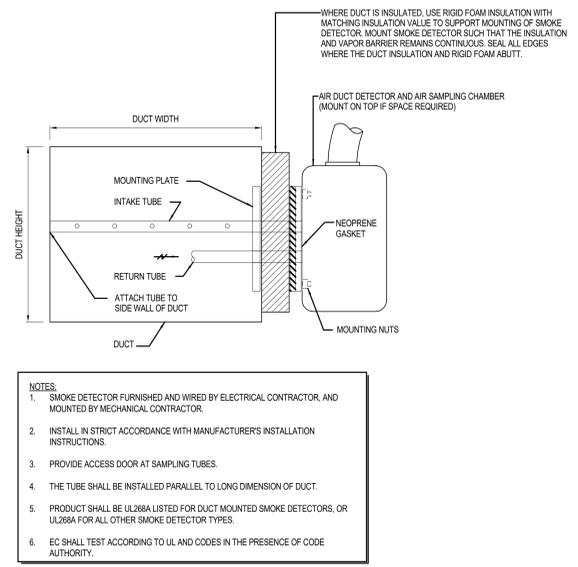
KEYED NOTES

1. BALANCE RA AIRFLOW TO 5,200 CFM.
2. BALANCE RA AIRFLOW TO 1,000 CFM.
3. 18x16 EX UP TO EE-1 MOUNTED ON ROOF.
4. 18x16 EX UP TO EE-2 MOUNTED ON ROOF.
5. 12x12 EX UP TO EE-3 MOUNTED ON ROOF.
6. 2" HWS/R UP. REFER TO M102 FOR CONTINUATION.
7. EXISTING HEATING AND CHILLED WATER PIPING CONTINUES IN TUNNEL AND IS STACKED. PIPE ROUTING IS DIAGNOSTIC TO ILLUSTRATE INTENT. NOT ACTUAL INSTALLATION. CONTRACTOR SHALL FIELD VERIFY CONDITIONS PRIOR TO NEW PIPE INSTALLATIONS.
8. CONTINUE NEW 2" HWS/R PIPING THROUGH TUNNEL TO EXISTING 2" HWR MAIN AND CONNECT AS ILLUSTRATED ON CONTROL DIAGRAM 2MM01. NEW BRANCH PIPING SHALL BE DECOUPLED FROM EXISTING 2" HWR MAIN AND ROUTED TO NEW ADDITION AS SHOWN.
9. PROVIDE NEW ROOF MOUNTED EXHAUST FAN WHERE DUCT RISER THROUGH ROOF IS SHOWN. EXHAUST FAN SHALL BE MOUNTED ON 18" HIGH CURB. CURB SHALL BE FURNISHED BY FAN MANUFACTURER AND INSTALLED BY MECHANICAL CONTRACTOR. REFER TO FAN SCHEDULE ON SHEET M501 AND SECTION 23 34 00 FOR FAN REQUIREMENTS. REFER ALSO TO SHEET M501 AND SECTION 23 09 93 FOR CONTROL REQUIREMENTS.
10. ANGLE UH-1 DOWN TOWARDS FLOOR TO ENSURE AIR PATTERN IS DIRECTED DOWN BELOW RETURN AIR DUCT.
11. ACCU-1 SHALL BE MOUNTED ON CONCRETE EQUIPMENT PAD PROVIDED BY G.C. COORDINATE DIMENSIONS OF PAD WITH FINAL EQUIPMENT SELECTION.

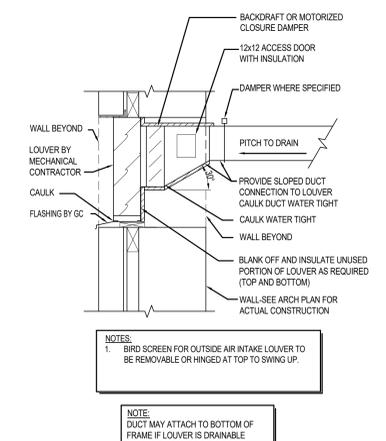




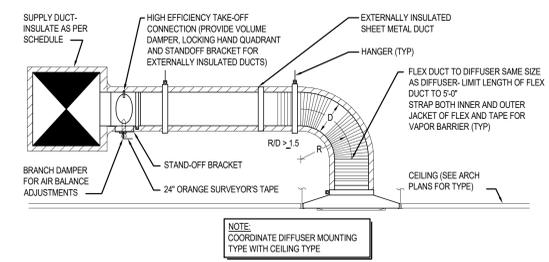
1 TYPICAL DUCTWORK DETAILS
NOT TO SCALE



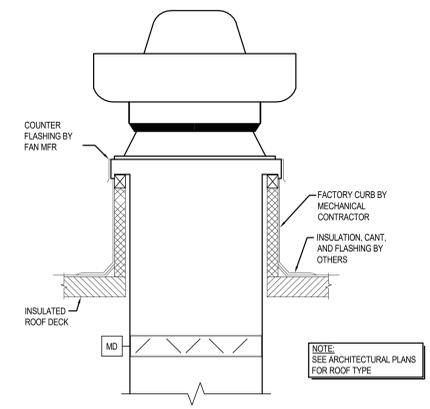
2 SMOKE DETECTOR MOUNTING DETAIL
NOT TO SCALE



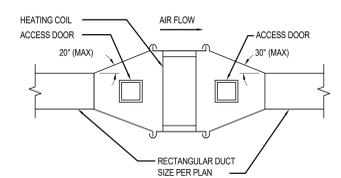
3 LOUVER CONNECTION DETAIL
NOT TO SCALE



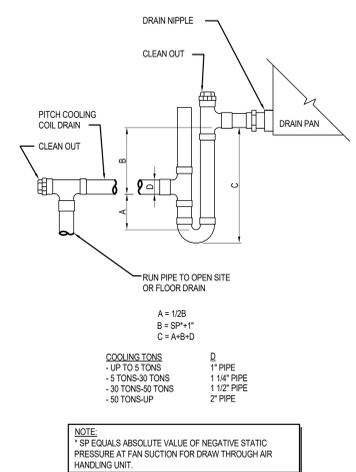
4 CEILING DIFFUSER DETAIL
NOT TO SCALE



5 ROOF-MOUNTED EXHAUST FAN DETAIL
NOT TO SCALE



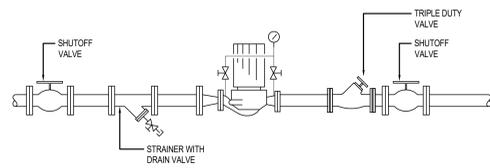
6 HW COIL DUCT CONNECTION DETAIL
NOT TO SCALE



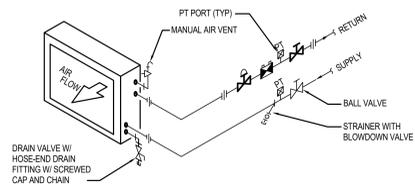
7 NEGATIVE PRESSURE CONDENSATE DRAIN DETAIL
NOT TO SCALE

1 2 3 4 5 6 7

E



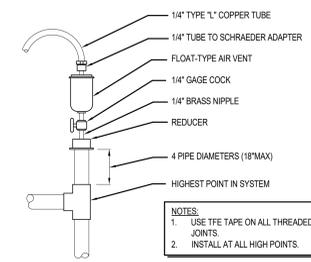
1 **INLINE PUMP DETAIL**
NOT TO SCALE



NOTES:

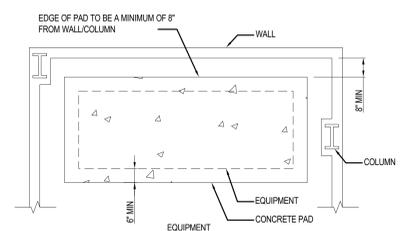
1. WATER FLOW IS COUNTER TO AIR FLOW, OFFSET PIPING FOR SERVICE.
2. ALL VALVES AND CONTROL DEVICES TO BE FULL PORT UNLESS APPROVED BY ENGINEER.
3. IF NO VENT PORT ON COIL, CONTRACTOR SHALL ADD ONE IN PIPE.

2 **2-WAY HEATING COIL DETAIL**
NOT TO SCALE

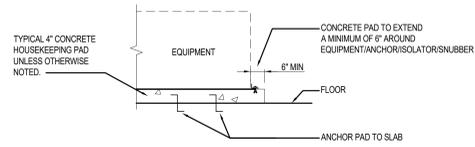


3 **AUTOMATIC AIR VENT ASSEMBLY DETAIL**
NOT TO SCALE

C

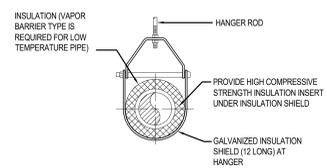


PLAN VIEW



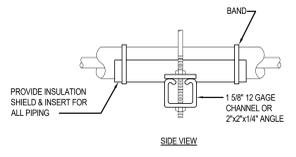
ELEVATION VIEW

4 **EQUIPMENT PAD (BY G.C.)**
NOT TO SCALE



ADJUSTABLE CLEVIS HANGER

HANGER RODS	
NOMINAL PIPE SIZE (INCHES)	MINIMUM ROD DIAMETER (INCHES)
2	3/8



TRAPEZE HANGER FOR UP TO 1000 LB. UNIFORM LOAD

TYPICAL PIPE HANGERS

NOM. SIZE	THRU 3/4"	MAXIMUM PIPE/TUBING SUPPORT SPACING (FEET)			
		1	1 1/4	1 1/2	2
COPPER	5'-0"	5	5	8	8

NOTE: FOR TRAPEZE HANGER TAKE SPACING OF SMALLEST SIZE ON TRAPEZE.

5 **TYPICAL PIPE HANGER DETAIL**
NOT TO SCALE

B

A

1 2 3 4 5 6 7



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

des moines 699 Walnut Street, Suite 400
Des Moines, Iowa 50309
515.724.5840

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

MIDDLETON -
CROSS PLAINS
AREA SCHOOL
DISTRICT - PARK
ELEMENTARY
RENOVATIONS

1209 Park St. Cross
Plains, WI 53528

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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KEY PLAN

AIR HANDLING UNIT SCHEDULE

SYMBOL	AHU-1
SERVICE	ADDITION
LOCATION	MECHANICAL 163
SUPPLY FAN PERFORMANCE	
CFM	7,000
MINIMUM CFM	2,000
EXTERNAL STATIC PRESSURE	1.50
TOTAL STATIC PRESSURE	2.65
TYPE	DIRECT-DRIVE PLENUM
FAN QUANTITY	2
WHEEL SIZE (IN.)	17.8
SUPPLY FAN MOTOR	
TYPE	ECM
FAN RPM	1,772
TOTAL BHP	2.57
MHP	(2) @ 4.0
MINIMUM OUTSIDE AIR CFM	2,000
HEATING COIL - HOT WATER	
HEATING AIRFLOW (CFM)	6,500
NUMBER OF ROWS	2
EAT °F DB	42.3
LAT °F DB	95
EWT °F	130
LWT °F	100
GPM	25
MBH	350
MAX. A.P.D. IN. W.C.	0.15
W.P.D. FEET HEAD	10.0
DX COOLING COIL - (NOTE 5)	
COOLING AIRFLOW (CFM)	7,000
NUMBER OF ROWS	4
EAT °F DB / WB	78.9/66.4
LAT °F DB / WB	53.5/52.6
REFRIGERANT TYPE	R-410A
DX COIL SUCTION TEMPERATURE (°F)	42.5
FACE VELOCITY (FPM)	405
NUMBER OF CIRCUITS	2
CIRCUIT TYPE	INTERLACED
SENSIBLE CAPACITY (MBH)	206.7
LATENT CAPACITY (MBH)	71.5
TOTAL CAPACITY (MBH)	278.2
MAX. A.P.D. IN. W.C.	0.47
FILTER	
THICKNESS (INCHES)	4"
TYPE	PLEATED - MERV 13
FILTER MAX. PRESSURE DROP (IN. WC.) - CLEAN/DIRTY	0.30/0.55
VELOCITY (FPM)	405
ELECTRICAL	
DISCONNECT BY	EC
DISCONNECT TYPE	-
CONTROLLER/STARTER BY	TCC
CONTROLLER/STARTER TYPE	RELAY
VOLTS/PHASE/HZ	208/3/60
FLA	8.4
MCA	19
MOP	25
MANUFACTURER	AAON
MODEL NUMBER	V3-ERB-3-0-142D-12RB
NOTES	1 - 4
NOTES:	1. REFER TO SPECIFICATION SECTION 23 73 13 FOR ADDITIONAL INFORMATION. 2. REFER TO SPECIFICATION SECTION 23 05 48 FOR VIBRATION ISOLATION REQUIREMENTS. 3. REFER TO SHEET PLANS FOR ALL SERVICE AND ACCESS LOCATIONS. 4. REFER TO SOUND DATA SCHEDULE ON PLANS FOR SOUND REQUIREMENTS.

FAN SCHEDULE

TAG	SERVICE	LOCATION	TYPE	FAN DATA						MAX. AMCA SONES	DAMPER (NOTE 4)	MOUNTING TYPE	ELECTRICAL				WEIGHT	MANUFACTURER	MODEL	NOTES		
				CFM	BHP	MHP	RPM	DRIVE	S.P. (IN. W.C.)				DISCONNECT BY	DISCONNECT TYPE	CONTROLLER/STARTER BY	CONTROLLER/STARTER TYPE						
EF-1	RESTROOMS C2 & C3	ROOF - ADDITION	UPBLAST	600	0.12	0.17	1,563	DIRECT	0.5	8.1	YES	ROOF-MOUNT	120/1/60	MFR	NF	MFR	ECM	36	GREENHECK	CUE-095-VG	1 - 4	
EF-2	KITCHEN 161 TYPE 1 HOOD	ROOF - ADDITION	UPBLAST	1,500	0.27	0.5	1,337	DIRECT	0.5	13.3	YES	ROOF-MOUNT	120/1/60	MFR	NF	MFR	ECM	62	GREENHECK	CUE-131-VG	1 - 4	
EF-3	KITCHEN 161 DISHWASHER HOOD	ROOF - ADDITION	UPBLAST	700	0.12	0.25	1,372	DIRECT	0.5	7.6	YES	ROOF-MOUNT	120/1/60	MFR	NF	MFR	MS	40	GREENHECK	CUE-099-VG	1 - 4	
NOTES: 1. SEE SPECIFICATION SECTION 23 34 00 FOR ADDITIONAL INFORMATION. 2. SEE SPECIFICATION SECTION 23 05 48 FOR VIBRATION ISOLATION REQUIREMENTS. 3. PROVIDE FAN WITH VARIABLE SPEED CONTROLLER. 4. 120V NOTORIZED OPERATING DAMPER SHALL BE FURNISHED BY FAN MANUFACTURER AND INSTALLED BY M.C. DAMPER SHALL BE INSTALLED BELOW ROOF LINE WITH ACTUATOR EXTERNALLY MOUNTED. FAN SHALL BE POWERED THROUGH DAMPER. REFER TO EXHAUST FAN CONTROL DIAGRAMS ON M602 FOR CONTROL REQUIREMENTS.																						

AIR COOLED CONDENSING UNIT SCHEDULE

TAG	LOCATION	SERVES	REFRIGERANT	DESIGN TONS	NO. OF COMPRESSORS (NOTE 1)	NO. OF CIRCUITS	SUCTION TEMPERATURE (°F)	AMBIENT TEMP. (°F)	MIN. EER @ OPERATING CONDITIONS	FANS		ELECTRICAL				MANUFACTURER	MODEL	NOTES			
										HP	NO.	DISCONNECT BY	DISCONNECT TYPE	CONTROLLER/STARTER BY	CONTROLLER/STARTER TYPE						
CU-1	NORTH SIDE OF ADDITION	AHU-1	R-410A	25	2	2	43	95	11.4	1	4	208/3/60	124.0	136	175	MFR.	NF	MFR.	AAON	CFA-025-C-A-3-D-C-00K	1 - 4
NOTES: 1. UNIT SHALL BE PROVIDED WITH A MINIMUM OF ONE (1) VARIABLE CAPACITY SCROLL COMPRESSOR. 2. UNIT SHALL BE EQUIPPED WITH A SINGLE-POINT POWER CONNECTION AND DISCONNECT. DISCONNECT SHALL BE FURNISHED BY UNIT MANUFACTURER AND SHIPPED LOOSE TO BE INSTALLED BY E.C. 3. PROVIDE UNIT WITH TERMINAL STRIP FOR GAS CONTROL. 4. REFER TO SOUND DATA SCHEDULE ON PLANS FOR SOUND REQUIREMENTS.																					

PUMP SCHEDULE

TAG	SERVES	LOCATION	PUMP TYPE	PUMPED FLUID	DESIGN FLOW (GPM)	DESIGN HEAD (FT. HD)	ELECTRICAL			PUMP SIZE (IN.)		MANUFACTURER	PUMP MODEL	NOTES					
							HP	RPM	AMPS	SUCTION	DISCHARGE								
P-1	HEATING WATER DISTRIBUTION	CORRIDOR C1 - ABOVE CEILING	INLINE	WATER	40	45	2.175	-	6.9	230/1/60	EC	-	MFR.	ECM	3	3	TACO	VR30	1, 2
P-2	HEATING WATER DISTRIBUTION	CORRIDOR C1 - ABOVE CEILING	INLINE	WATER	40	45	2.175	-	6.9	230/1/60	EC	-	MFR.	ECM	3	3	TACO	VR30	1, 2
NOTES: 1. REFER TO SPECIFICATION SECTION 23 21 23 FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 2. PUMP SIZED FOR 100 PERCENT OF DESIGN FLOW (N+1).																			

MOTOR OPERATED DAMPER SCHEDULE

TAG	SERVES	LOCATION	SIZE (W x H) (IN.)	CONTROLLED AIRFLOW		OPPOSED OR PARALLEL BLADES	HORIZONTAL OR VERTICAL BLADES	INSULATED	ACTUATOR TYPE	ACTUATOR STYLE	POWER FAILURE POSITION	POSITIVE POSITION FEEDBACK	NOTES
				MIN. CFM	MAX. CFM								
MOD-1	AHU-1 OUTSIDE AIR	MECHANICAL 163	SEE DUCTWORK PLANS	1,500	7,000	PARALLEL	VERTICAL	YES	24V	MODULATING	CLOSED	NO	1 - 3
MOD-2	AHU-1 RETURN AIR	MECHANICAL 163	SEE DUCTWORK PLANS	1,500	6,200	PARALLEL	VERTICAL	NO	24V	MODULATING	OPEN	NO	1 - 3
NOTES: 1. SEE SPECIFICATION SECTION 23 33 00 FOR ADDITIONAL INFORMATION. 2. COORDINATE DAMPER ACTUATOR LOCATION AND MOUNTING REQUIREMENTS WITH TEMPERATURE CONTROL CONTRACTOR. 3. COORDINATE ALL POWER AND CONTROL REQUIREMENTS WITH SEQUENCES OF OPERATION IN SECTION 23 09 93. 4. DAMPER ACTUATOR SHALL BE EQUIPPED WITH END SWITCH TO PROVE OPEN PRIOR TO ASSOCIATED FAN STARTING.													

LOUVER SCHEDULE

TAG	LOCATION	SERVICE	CFM	QTY.	LOUVER PERFORMANCE				CONSTRUCTION	FINISH TYPE	MANUFACTURER	MODEL	NOTES
					LOUVER SIZE (W" x H")	FREE AREA VELOCITY (FPM)	S.P. (IN. W.C.)	MIN. FREE AREA (SF)					
L-1	MECHANICAL 163	OUTSIDE AIR	7,000	1	72 x 72	315	0.03	22.35	EXT. ALUMINUM	KYNAR 600	GREENHECK	ESD-635	1, 2
L-2	MECHANICAL 163	RETURN AIR	5,200	1	60 X 30	870	0.15	6.09	EXT. ALUMINUM	BAKED ENAMEL	GREENHECK	ESJ-401	1, 2
NOTES: 1. SEE SPECIFICATION SECTION 23 33 00 FOR ADDITIONAL INFORMATION. 2. COLOR SELECTION SHALL BE SELECTED BY ARCHITECT.													

PIPING INSULATION SCHEDULE

SERVICE	INSULATION TYPE	JACKET	INSULATION THICKNESS					NOTES
			< 1"	1 to < 1-1/2"	1-1/2" to < 2"	2" to < 4"	4" to < 8"	
HEATING WATER	RIGID FIBERGLASS	ASJ	1-1/2"	1-1/2"	2"	2"	2"	1, 2
REFRIGERANT SUCTION (> 40°F)	ELASTOMERIC	NONE	0.5"	1.0"	1.5"	1.5"	1.5"	1, 2
REFRIGERANT SUCTION (20°F TO 40°F)	ELASTOMERIC	NONE	1.0"	1.5"	1.5"	1.5"	1.5"	1, 2
NOTES: 1. ON 1" OR SMALLER HOT WATER PIPE RUNOUTS TO TERMINAL UNIT COILS THE INSULATION THICKNESS MAY BE REDUCED TO 1/2" ON BOTH THE SUPPLY AND RETURN PIPES WITHIN 4FT OF THE COIL BUT NOT ON THE DISTRIBUTION SYSTEM SIDE OF THE TEMPERATURE CONTROL VALVE. 2. REFER TO PLANS AND SPECIFICATION SECTION 23 07 00 FOR ADDITIONAL INSULATION REQUIREMENTS.								

SOUND DATA SCHEDULE

EQUIPMENT TAG	LOCATION	TYPE	OCTAVE BAND								NOTES	
			63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz		
AHU-1	MECHANICAL 163	RADIATED										1, 2
		INLET	73	75	80	78	75	74	73	71		
		OUTLET	77	79	84	84	86	80	77	73		
CU-1	NORTH SIDE OF ADDITION	RADIATED										1, 2
		INLET										
		OUTLET										
NOTES: 1. REFER TO ASSOCIATED EQUIPMENT SCHEDULES FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 2. REFER TO SECTION 23 05 48 FOR VIBRATION ISOLATION REQUIREMENTS.												

DUCTWORK INSULATION SCHEDULE

SERVICE	INSULATION TYPE	JACKET	INSULATION THICKNESS	NOTES
OUTSIDE AIR DUCTS	RIGID FIBERGLASS	FSJ	2"	
MIXED AIR DUCTS	RIGID FIBERGLASS	FSJ	2"	
EXPOSED SUPPLY DUCTS	RIGID FIBERGLASS	FSJ	2"	1
CONCEALED SUPPLY DUCTS	FLEXIBLE FIBERGLASS	FSJ	1-1/2"	
EXHAUST DUCT SERVING DISHWASHER	FLEXIBLE FIBERGLASS	FSJ	1-1/2"	
KITCHEN EXHAUST DUCT SERVING TYPE 2 KITCHEN HOOD	FLEXIBLE FIBERGLASS	FSJ	1-1/2"	
NOTES: 1. EXPOSED SUPPLY BRANCH DUCTS LOCATED IN THE SAME SPACES THEY ARE SERVING DO NOT REQUIRE INSULATION. EXPOSED SUPPLY MAIN DUCT RUNNING THROUGH SPACES THEY SERVE SHALL BE INSULATED AS EXPOSED SUPPLY DUCTS AS SCHEDULED ABOVE.				

GRILLES REGISTERS & DIFFUSERS SCHEDULE

TAG	DESCRIPTION	NECK SIZE (IN.)	FACE SIZE (IN.)	MATERIAL	FINISH	MAX. PRESS. DROP (IN. W.C.)	MANUFACTURER	MODEL	NOTES	ADDITIONAL REMARKS
CD-1	PLAQUE DIFFUSER	6	24x24	STEEL	NOTE 1	0.1"	CARNES	SFPA	1 - 5	
CD-2	PLAQUE DIFFUSER	8	24x24	STEEL	NOTE 1	0.1"	CARNES	SFPA	1 - 5	
CD-3	PLAQUE DIFFUSER	10	24x24	STEEL	NOTE 1	0.1"	CARNES	SFPA	1 - 5	
CD-4	PLAQUE DIFFUSER	12	24x24	STEEL	NOTE 1	0.1"	CARNES	SFPA	1 - 5	
CD-5	PLAQUE DIFFUSER	14	24x24	STEEL	NOTE 1	0.1"	CARNES	SFPA	1 - 5	
CD-6	PLAQUE DIFFUSER	16	24x24	STEEL	NOTE 1	0.1"	CARNES	SFPA	1 - 5	
SG-1	SUPPLY GRILLE	SEE PLAN	INLET + 2	STEEL	NOTE 1	0.1"	CARNES	RSDBH	1 - 5	22.5' HORIZONTAL FRONT BLADE ALIGNMENT
RG-1	45° DEFLECTION	SEE PLAN	INLET + 2	STEEL	NOTE 1	0.1"	CARNES	RSABH	1 - 6	HORIZONTAL BAR ALIGNMENT
TG-1	45° DEFLECTION	SEE PLAN	INLET + 2	STEEL	NOTE 1	0.1"	CARNES	RSABH	1 - 5	HORIZONTAL BAR ALIGNMENT; TRANSFER DUCT SHALL BE FULLY LINED WITH 1" DUCT LINER
EG-1	45° DEFLECTION	8	24x24	STEEL	NOTE 1	0.01"	CARNES	SPRB	1 - 5	
EG-2	45° DEFLECTION	10	24x24	STEEL	NOTE 1	0.01"	CARNES	SPRB	1 - 5	
EG-3	45° DEFLECTION	12	24x24	STEEL	NOTE 1	0.01"	CARNES	SPRB	1 - 5	
NOTES: 1. COLOR SELECTION BY ARCHITECT. 2. SEE SPECIFICATION SECTION 23 33 00 FOR ADDITIONAL INFORMATION. 3. CONTRACTOR SHALL DETERMINE PROPER MARGIN STYLE TO MATCH CEILING CONSTRUCTION. 4. ALL RUN OUT DUCTWORK TO DIFFUSERS SHALL BE NECK SIZE UNLESS OTHERWISE NOTED. 5. ALL ALUMINUM CONSTRUCTION FOR KITCHEN AND DISHWASHER AREA. NON FERROUS FASTENERS ARE REQUIRED. 6. PROVIDE RETURN AIR CANOPY EQUAL TO PRICE MODEL RAC - 2424.										

UNIT HEATER SCHEDULE - HOT WATER

TAG	LOCATION	FAN DATA				HOT WATER HEATING COIL										MOUNTING ARRANGEMENT	MANUFACTURER	MODEL	NOTES		
		CFM	HP	RPM	VOLTS	PHASE	DISCONNECT BY	DISCONNECT TYPE	CONTROLLER/STARTER BY	CONTROLLER/STARTER TYPE	MBH	EAT (°F)	LAT (°F)	NO. OF ROWS	EWT (°F)					LWT (°F)	GPM
UH-1	MECHANICAL 163	550	25 WATTS	1,550	115	1	MFR	-	MFR	13.5	65	89	2	130	100	1.5	0.1	HORIZONTAL	TRANE	UHSB-036	1
NOTES: 1. SEE SPECIFICATION SECTION 23 82 00 FOR ADDITIONAL INFORMATION.																					

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER

PROJECT NUMBER 16517-01

MECHANICAL SCHEDULES

M501

DATE	DESCRIPTION
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**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

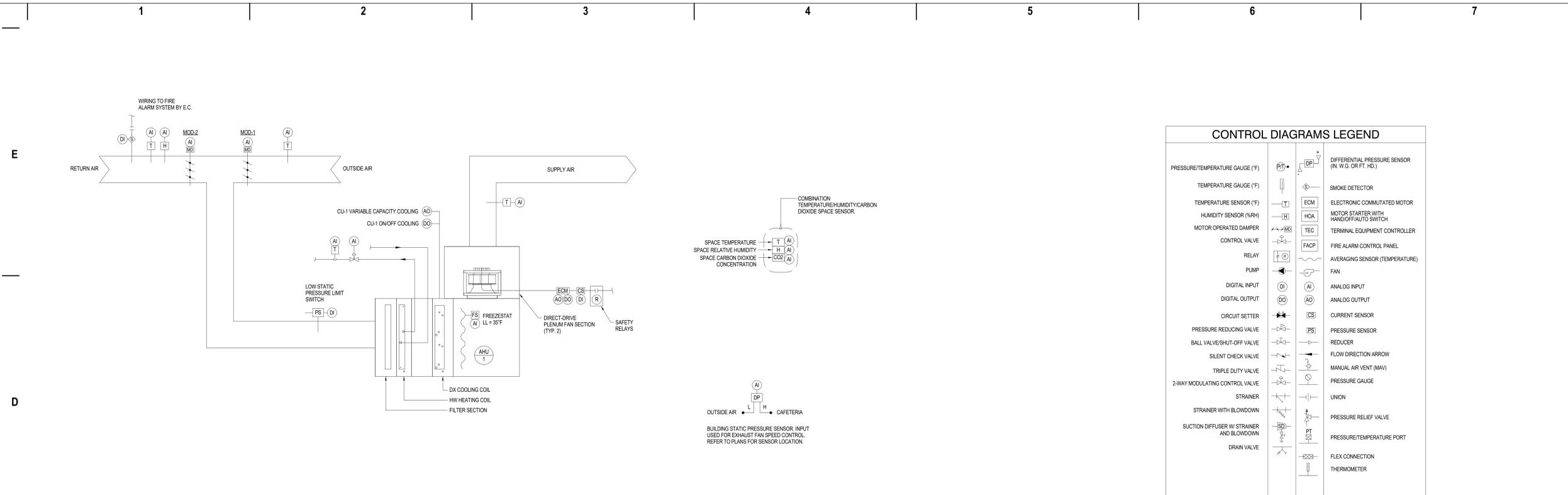
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PROJECT MANAGER

A PROJECT NUMBER 16517-01

**MECHANICAL
CONTROL
DIAGRAMS**

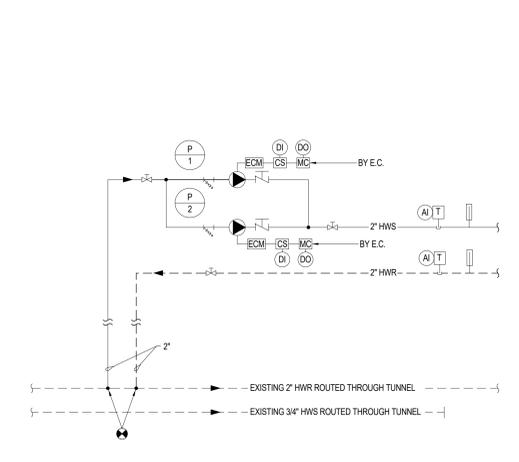
M601



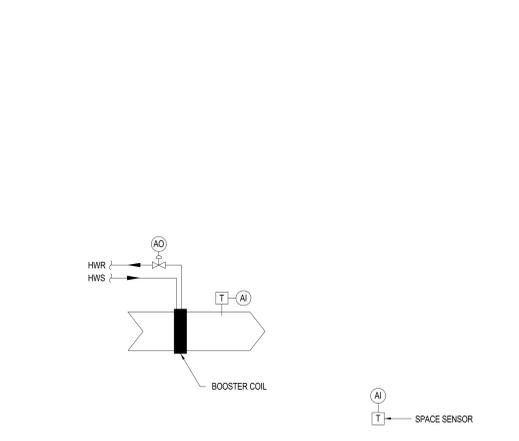
CONTROL DIAGRAMS LEGEND

PRESSURE/TEMPERATURE GAUGE (F)	PT	DIFFERENTIAL PRESSURE SENSOR (N.W.G. OR FT. HD.)
TEMPERATURE GAUGE (F)	T	SMOKE DETECTOR
TEMPERATURE SENSOR (F)	ECM	ELECTRONIC COMMUTATED MOTOR
HUMIDITY SENSOR (NRH)	HOA	MOTOR STARTER WITH HAND/OFF/AUTO SWITCH
MOTOR OPERATED DAMPER	TEC	TERMINAL EQUIPMENT CONTROLLER
CONTROL VALVE	FACP	FIRE ALARM CONTROL PANEL
RELAY	+	AVERAGING SENSOR (TEMPERATURE)
PUMP	P	FAN
DIGITAL INPUT	DI	ANALOG INPUT
DIGITAL OUTPUT	DO	ANALOG OUTPUT
CIRCUIT SETTER	CS	CURRENT SENSOR
PRESSURE REDUCING VALVE	PS	PRESSURE SENSOR
BALL VALVE/SHUT-OFF VALVE	BV	REDUCER
SILENT CHECK VALVE	SCV	FLOW DIRECTION ARROW
TRIPLE DUTY VALVE	TDV	MANUAL AIR VENT (MAV)
2-WAY MODULATING CONTROL VALVE	2WCV	PRESSURE GAUGE
STRAINER	STR	UNION
STRAINER WITH BLOWDOWN	STR-BD	PRESSURE RELIEF VALVE
SUCTION DIFFUSER W/ STRAINER AND BLOWDOWN	SDS	PRESSURE/TEMPERATURE PORT
DRAIN VALVE	DRV	FLEX CONNECTION
		THERMOMETER

1 VAV AIR-HANDLING UNIT CONTROL (AHU-1)



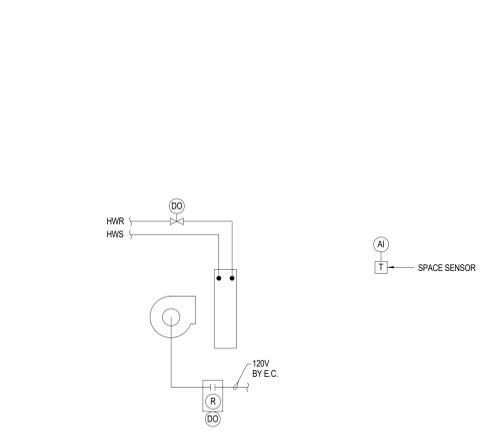
2 HEATING WATER PUMP CONTROL



6 BOOSTER COIL CONTROL



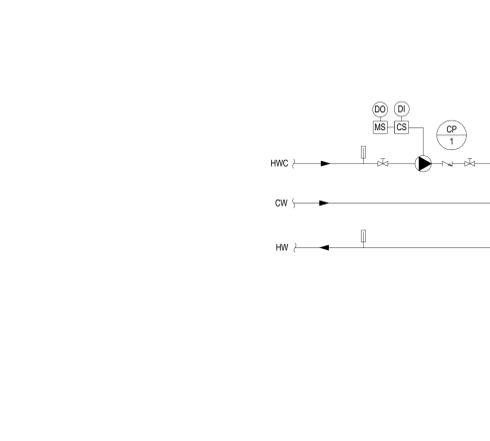
3 TOILET EXHAUST FAN (EF-1) CONTROL



7 UNIT HEATER/CABINET UNIT HEATER CONTROL



4 KITCHEN EXHAUST FAN (EF-2) CONTROL



8 DOMESTIC WATER HEATING SYSTEM CONTROL



C

B

E

D

C

B

A

E

D

C

B

A

GENERAL DEMOLITION NOTES

- THE ELECTRICAL DRAWINGS INDICATE EXISTING ELECTRICAL ITEMS TO BE REMOVED. THE DRAWINGS ARE INTENDED TO INDICATE THE SCOPE OF WORK REQUIRED AND DO NOT INDICATE EVERY BOX, CONDUIT, OR WIRE THAT MUST BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID AND VERIFY EXISTING CONDITIONS.
- ELECTRICAL ITEMS (i.e., LIGHTING FIXTURES, RECEPTACLES, SWITCHES, ETC.) REMOVED AND NOT RELOCATED REMAIN THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF MATERIAL. THE OWNER DOES NOT WANT TO REUSE OR RETAIN (i.e., FOR MAINTENANCE PURPOSES).
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER BEFORE TURNING OFF POWER TO CIRCUITS, FEEDERS, PANELS, ETC. COORDINATE ALL OUTAGES WITH OWNER. CONDUIT CONCEALED IN WALL CONSTRUCTION MAY BE ABANDONED IN PLACE IF NOT AFFECTED BY OTHER CONSTRUCTION.
- WHERE LIGHTS, SWITCHES, RECEPTACLES, ETC., ARE BEING REMOVED ALL ASSOCIATED CONDUIT AND WIRE BACK TO THE PANELBOARD OR FEEDER JUNCTION BOX SERVING THE DEVICE SHALL ALSO BE REMOVED, UNLESS THE CONDUIT CAN BE REUSED FOR NEW CONDUCTORS.
- ALL CONDUIT SHALL BE REMOVED WHERE WALLS ARE BEING REMOVED. WHERE CONDUIT IS IN THE CONCRETE SLAB, CUT OFF FLUSH, PULL OUT WIRE, AND FLUSH. WHERE CONDUIT IS RUN EXPOSED, ALL ASSOCIATED CLAMPS, SUPPORTS, HANGERS, ETC., SHALL ALSO BE REMOVED.
- THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER CONTRACTORS AT THE JOB SITE BEFORE REMOVING EXISTING ELECTRICAL AND INSTALLING NEW ITEMS.
- EXISTING CONDUIT IN GOOD CONDITION, MAY BE REUSED IN PLACE. RELOCATED EXISTING CONDUIT SHALL NOT BE ALLOWED. BONDING CONDUCTORS SHALL BE INSTALLED IN ALL REUSED CONDUIT TO ASSURE PROPER GROUND PATH.
- EQUIPMENT REMOVAL IN CERTAIN LOCATIONS MAY REQUIRE THE INSTALLATION OF A JUNCTION BOX TO RECONNECT CIRCUITS THAT REMAIN IN OPERATION. EXTEND CONDUIT AND WIRING AS REQUIRED TO MAINTAIN POWER TO REMAINING EQUIPMENT.
- CONTRACTOR SHALL REMOVE AND INSTALL ALL CEILING TILES AS REQUIRED FOR THE EXECUTION OF ELECTRICAL WORK THAT IS OUTSIDE THE CONTRACT LIMITS OF CONSTRUCTION. CONTRACTOR SHALL REPLACE CEILING TILES WITH IDENTICAL MATERIAL WHERE DAMAGED BY THIS CONTRACTOR.
- BALLASTS MANUFACTURED PRIOR TO 1980 CONTAIN PCBs AND SHALL BE DISPOSED OF BY A FEDERAL OR STATE E.P.A. APPROVED METHOD AND IN ACCORDANCE WITH SPECIFICATIONS.
- HID AND FLUORESCENT LAMPS CONTAIN MERCURY AND SHALL BE DISPOSED OF BY A FEDERAL OR STATE E.P.A. APPROVED METHOD AND IN ACCORDANCE WITH SPECIFICATIONS.
- DEMOLISH ELECTRICAL CONNECTION AND ELECTRICAL DISCONNECT AND CONTROLS SERVING EXISTING EQUIPMENT NOTED FOR REMOVAL. WHERE CIRCUITS ARE NOT BEING RETAINED FOR REUSE, REMOVE CONDUIT AND WIRING BACK TO SOURCE PANEL AND LABEL EXISTING CIRCUIT BREAKER AS SPARE.
- DEMOLISH ELECTRICAL LIGHTING FIXTURES, WIRING DEVICES, VOICEDATA OUTLETS, AND OTHER LOW VOLTAGE SYSTEM DEVICES INDICATED. REMOVE CONDUIT, WIRING, OR CABLE BACK TO SOURCE PANEL OR LOW VOLTAGE RACK OR ENCLOSURE. CIRCUIT BREAKERS SHALL BE LABELED AS SPARE.

GENERAL ELECTRICAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH NATIONAL, STATE, AND LOCAL CODES AND/OR ORDINANCES.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER CONTRACTORS.
- SEE ARCHITECTURAL, MECHANICAL, & PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY. THEY ARE INTENDED TO GIVE APPROXIMATE LOCATIONS AND OVERALL DESIGN INTENT. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCTS, MATERIALS, AND ELECTRICAL METHODS WHICH HAVE NOT BEEN SHOWN OR INDICATED BUT ARE REQUIRED FOR A COMPLETE SYSTEM TO THE STANDARDS OF THE INDUSTRY.
- INSTALL LIGHTING FIXTURES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE SUPPORTING DEVICES FOR ADEQUATE SUPPORT OF FIXTURES FROM STRUCTURE.
- UPON COMPLETION OF THE ELECTRICAL WORK, THE INSTALLATION SHALL BE TESTED FOR CONTINUITY, GROUNDS, AND SHORT CIRCUITS. THE ELECTRICAL CONTRACTOR SHALL DEMONSTRATE PROPER PERFORMANCE OF ALL SYSTEMS. ALL DEFECTIVE WORK OR MATERIALS SHALL BE REPLACED OR REPAIRED AS NECESSARY AND RETESTED.
- ELECTRICAL RACEWAYS THAT PENETRATE FIRE RATED ASSEMBLIES SHALL BE SLEEVED AND SEALED AS PER THE LOCAL BUILDING CODE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A TEMPORARY ELECTRICAL SYSTEM FOR THE PROJECT. AT LEAST ONE 120VOLT SINGLE PHASE RECEPTACLE AND SUFFICIENT TEMPORARY LIGHTING SHALL BE PROVIDED TO ALLOW ALL CONTRACTORS TO COMPLETE THEIR WORK. TEMPORARY ELECTRICAL CIRCUITS SHALL BE EQUIPPED WITH COMBINATION GROUND FAULT INTERRUPTER AND CIRCUIT BREAKER PER NEC. TEMPORARY ELECTRICAL SYSTEM SHALL BE INCLUDED IN THIS BID.
- ELECTRICAL DEVICES/EQUIPMENT SHOWN AS DASHED AND BOLD ARE EXISTING TO BE REMOVED. ELECTRICAL DEVICES/EQUIPMENT SHOWN AS LIGHT AND SOLID ARE EXISTING TO REMAIN, AND ELECTRICAL DEVICES/EQUIPMENT SHOWN AS BOLD AND SOLID SHALL BE NEW.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ROUGH-IN ONLY FOR COMMUNICATIONS DEVICES, INCLUDING 4" SQUARE MINIMUM 2-1/8" DEEP BACKBOX WITH SINGLE GANG MUD RING AND 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING WITH 90 DEGREE BEND INTO THE ROOM AND PLASTIC BUSHINGS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS AND SCHEDULING OF REQUIRED ELECTRICAL INSPECTIONS.
- ELECTRICAL CONTRACTOR SHALL SALVAGE DEVICES BEING REMOVED FOR SPECIALIZED SYSTEMS, INCLUDING BUT NOT LIMITED TO CARD READERS ALONG WITH ASSOCIATED EQUIPMENT, CAMERAS, AND ASSOCIATED EQUIPMENT. THESE ITEMS SHALL BE RETURNED TO THE OWNER.
- PROTECT LOW VOLTAGE CABLE FROM DEMOLITION OPERATIONS. DO NOT DISRUPT WITHOUT WRITTEN OWNER APPROVAL. UPON 5 DAY MINIMUM NOTICE.

FIRE ALARM GENERAL NOTES

- NEW FIRE ALARM DEVICES SHALL BE SERVED FROM AND COMPATIBLE WITH EXISTING FIRE ALARM SYSTEM. NOTIFICATION DEVICES SHALL BE CEILING MOUNTED HORNS AND STROBES, AND INITIATION DEVICES SHALL BE MANUAL PULL STATIONS, SMOKE DETECTORS, AND HEAT DETECTORS.
- CONTRACTOR MUST PROVIDE A COMPLETE, FULLY OPERATIONAL FIRE ALARM SYSTEM THAT OPERATES RELIABLY FOR ITS INTENDED PURPOSE. EXISTING MAIN FIRE ALARM CONTROL PANEL SHALL BE UPGRADED OR EXPANDED WITH THE APPROPRIATE HARDWARE AND/OR SOFTWARE TO ALLOW FOR NEW DEVICES TO BE ADDED TO SYSTEM. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO VERIFY EXPANSIBILITY AND COMPATIBILITY OF EXISTING FIRE ALARM SYSTEM PRIOR TO BIDDING.
- NEW DEVICES SHALL BE PROGRAMMED TO MATCH EXISTING SEQUENCE OF OPERATIONS FOR THE FIRE ALARM SYSTEM.
- EXISTING FIRE ALARM ANNUNCIATORS SHALL ANNUNCIATE ALL NEW DEVICES AND ADDRESSES.
- NEW FIRE ALARM NAC PANELS SHALL BE INSTALLED AS NEEDED AND PROVIDED WITH 90 MINS OF BATTERY BACK-UP.
- FIRE ALARM SYSTEM, INCLUDING CONDUCTORS AND CABLING, SHALL MEET THE REQUIREMENTS OF NFPA 70, NFPA 72 AND NFPA 101 WITHOUT EXCEPTION. PER NFPA 70, CABLING ABOVE SUSPENDED CEILING MUST BE SUPPORTED BY MEANS INDEPENDENT FROM THAT PROVIDED TO SUPPORT THE SUSPENDED CEILING OR OTHER ITEMS SUSPENDED FROM STRUCTURE.
- CONTRACTOR SHALL PROVIDE PLANS, SPECIFICATIONS AND PRODUCT DATA DOCUMENTATION TO STATE AND LOCAL FIRE ALARM OFFICIALS UPON REQUEST FOR THE PURPOSE OF SCHEDULING AND PERFORMING REVIEWS AS WELL AS PAYMENTS. FIRE ALARM SYSTEM DEFICIENCIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- FIRE ALARM CABLING SHALL BE REQUIRED TO BE PLENUM RATED.
- FIRE ALARM SYSTEM SHOP DRAWING SUBMITTALS AND O&M MANUALS SHALL INCLUDE THE FOLLOWING:
 - MANUFACTURER'S PUBLISHED DATA, INCLUDING: INSTALLATION MANUAL, TROUBLESHOOTING MANUAL, MAINTENANCE MANUAL, TESTING AND COMMISSIONING MANUAL, AND SHOP DRAWINGS, PRODUCT DATA DOCUMENTS FOR HARDWARE, SOFTWARE WITH VERSION NUMBER, DEVICES, PANELS AND CATALOG ORDER FORMS WITH PART NUMBERS CLEARLY MARKED.
 - WIRING AND INSTALLATION DIAGRAMS, VOLTAGE DROP CALCULATIONS, AND BATTERY CALCULATIONS.
 - RESER DIAGRAMS AND FLOORS PLANS WITH DEVICE ADDRESSES INDICATED, AND POINT TO POINT WIRING REQUIREMENTS.
 - MASTER POINTS LISTING INDICATING DEVICES, ADDRESSES, AND INSTALLED LOCATION, AND OPERATION MATRIX.

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	VOLTS	WATTS	MANUFACTURER	SERIES	WATTS	NOTES
A1	2X2 RECESSED VOLUMETRIC TROFFER, 2400 LUMEN, WHITE HOUSING, SMOOTH FROSTED ACRYLIC LENS, 0-10V 1% DIMMING	MVOLT	23 W	METALUX	CRUZE ST 22C22	LED	
A2	2X2 RECESSED VOLUMETRIC TROFFER, 2900 LUMEN, WHITE HOUSING, SMOOTH FROSTED ACRYLIC LENS, 0-10V 1% DIMMING	MVOLT	25 W	METALUX	CRUZE ST 22C22	LED	
A3	2X2 RECESSED VOLUMETRIC TROFFER, 3900 LUMEN, WHITE HOUSING, SMOOTH FROSTED ACRYLIC LENS, 0-10V 1% DIMMING	MVOLT	31 W	METALUX	CRUZE ST 22C22	LED	
B1	2X4 RECESSED LED FLAT PANEL, 4000 LUMEN, 4000K, 80 CRI, ACT GRID MOUNTING	MVOLT	29 W	METALUX	24FP LED	LED	
B2	2X4 RECESSED LED FLAT PANEL, 4700 LUMEN, 4000K, 80 CRI, ACT GRID MOUNTING	MVOLT	42 W	METALUX	24FP LED	LED	
C	4 LED STRIP, 4000 CCT, 80CRI, FULL FROSTED SQUARE LENS, WIDE DISTRIBUTION, CHAIN MOUNTED, 0-10V DRIVER, 5000 LUMENS, 3 FT SUSPENSION LENGTH	MVOLT	28 W	METALUX	SNLED	LED	
D	SURFACE MOUNTED UNDERCABINET LIGHT	MVOLT					
F	2" SURFACE MOUNTED VANITY FIXTURE, MOUNT AT 8'-0" AFF, 1600 LUMENS, 4000K, 80 CRI, FULL FROSTED LENS, WIDE DISTRIBUTION, 0-10V DIMMING	MVOLT	11 W	METALUX	SWLED	LED	

ELECTRICAL SYMBOLS LEGEND

RECEPTACLES	LIGHTING
20A 120V 2P 3W GROUNDING DUPLEX RECEPTACLE DUPLX RECEPTACLE - (1 SWITCHED & 1 UNSWITCHED) SINGLE-PLEX RECEPTACLE QUADPLEX RECEPTACLE GFCI RECEPTACLE RECEPTACLE MTD. 6" ABOVE COUNTER OR HGT SHOWN TAMPER RESISTANT RECEPTACLE WEATHER-PROOF GFCI RECEPTACLE QUADPLEX FLOORBOX 120V, 15A CLOCK OUTLET	FIXTURE TYPE PER SCHEDULE TROFFER STYLE FIXTURE, TYPE AS NOTED SWITCH LEGS FIXTURE ON EMERGENCY POWER STRIP LIGHT / SUSPENDED DIRECT/INDIRECT SURFACE MTD FIXTURE TRACK LIGHTING PENDANTS/SURFACE MTD UP/DOWN LIGHT RECESSED/DOWNLIGHT FIXTURE ACCENT FIXTURE WALL MOUNTED FIXTURE EXIT SIGN (ARROWS INDICATED AS SHOWN) - (SHADING INDICATES # OF FACES) CLG MTD EMERGENCY FIXTURE EMERGENCY FIXTURE COMBO EMERGENCY EXIT LIGHT - (ARROW INDICATES DIRECTION) - (SHADING INDICATES # OF FACES) BOLLARDS/DEWALK LIGHT FLOOD LIGHT SINGLE HEAD FIXTURE/POLE TWIN HEAD FIXTURE/POLE
COMMUNICATIONS	SWITCHING
SURFACE MOUNTED RACEWAY WITH DEVICES AS NOTED TELEPHONE TELEPHONE/DATA DATA ONLY COMMUNICATION DEVICE MTD. 6" ABOVE COUNTER OR HGT SHOWN WIRELESS ACCESS POINT CEILING MOUNTED SPEAKER WALL MOUNTED SPEAKER SPEAKER VOLUME CONTROL TELEVISION OUTLET	20A 120/277V SPST SWITCH 20A 120/277V 3-WAY SWITCH 20A 120/277V 4-WAY SWITCH DIMMER SWITCH KEY OPERATED SWITCH MOMENTARY CONTACT SWITCH LOW VOLTAGE SWITCH THERMAL OVERLOAD SWITCH PILOT LIGHT CEILING MTD OCC. SENSOR PHOTOCELL OCCUPANCY SENSOR SLAVE PACK
POWER	FIRE ALARM
PANEL BOARD DISTRIBUTION PANEL BOARD SEPARATE CIRCUIT BREAKER UTILITY METER DISCONNECT FUSED DISCONNECT SWITCH EMERGENCY FUSED DISCONNECT SWITCH TRANSFORMER MOTOR STARTER/CONTACTOR COMBINATION MOTOR STARTER PUSH BUTTON STATION AS NOTED J-BOX (WALL MOUNT) J-BOX FLOOR BOX OVERHEAD BOX PULL BOX, SIZE AS NOTED OR AS REQUIRED BY CODE MOTOR CONNECTION ELECTRICAL EQUIPMENT CONNECTION MOTOR CONNECTION CEILING FAN CABLE TRAY RUN HOME RUN TO PANEL BOARD	MANUAL PULL STATION 46" A.F.F. CENTER STROBE ONLY 84" A.F.F. TO CENTER 15CD, 30CD, 75CD, 110CD HORN/STROBE 84" A.F.F. TO CENTER 15CD, 30CD, 75CD, 110CD INDICATES CEILING MOUNT DEVICE SMOKE DETECTOR INDICATES ELEVATOR RECALL HEAT DETECTOR DUCT DETECTOR FIRE BARRIER CONNECTION SPRINKLER FLOW SWITCH TAMPER FLOW SWITCH MAGNETIC DOOR HOLD MONITOR MODULE FIRE ALARM CONTROL PANEL FIRE ALARM ANNUNCIATOR PANEL
NURSE CALL	SECURITY
NURSECALL - PATIENT BEDSIDE STATION NURSECALL - EMERGENCY STATION W/ PULL CORD NURSECALL - CORRIDOR LIGHT NURSECALL - DUTY STATION NURSECALL - MAIN CONTROLLER NURSECALL - CODE BLUE	CLOSED CIRCUIT CAMERA (CCC) CARD READER KEYPAD ELECTRIC STRIKE ELECTRIC LATCH MAGNETIC LOCK DELAYED EGRESS (TIED TO INFANT ABDUCTION SYSTEM OR ED LOCK DOWN PUSH BUTTON) DOOR SECURITY POWER SUPPLY (CONNECT TO AUTO OPERATOR CIRCUIT)

ELECTRICAL ABBREVIATIONS

AC ABOVE COUNTERTOP	MC MECHANICAL CONTRACTOR
AFF ABOVE FINISH FLOOR	MCA MINIMUM CIRCUIT AMPS
AFG ABOVE FINISH GRADE	MDP MAIN DISTRIBUTION PANEL
ANNC ANNUNCIATOR	MTD MOUNTED
CC CONTROLS CONTRACTOR	OCC OCCUPANCY
EC ELECTRICAL CONTRACTOR	PC PLUMBING CONTRACTOR
EX EXISTING	PNL PANEL
EXR EXISTING RELOCATED	SPST SINGLE POLE SINGLE THROW
GC GENERAL CONTRACTOR	WP WEATHER PROOF
GFCI GROUND FAULT CIRCUIT INTERRUPT	20A 20 AMP
IBC INTERNATIONAL BUILDING CODE	3W 3 WIRE
IG ISOLATED GROUND	201 20 AMP SINGLE PHASE
HP HORSEPOWER	
LV LOW VOLTAGE	

ELECTRICAL SHEET INDEX

E001	ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS
ED100	ELECTRICAL DEMOLITION PLANS
E100	OVERALL PLANS
E101	SITE PLAN
E111	FIRST FLOOR LIGHTING PLAN
E121	FIRST FLOOR POWER & SYSTEMS PLAN
E401	ENLARGED PLANS - KITCHEN



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

des moines 699 Walnut Street, Suite 400
Des Moines, Iowa 50309
515.724.5840

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

MIDDLETON - CROSS PLAINS AREA SCHOOL DISTRICT - PARK ELEMENTARY RENOVATIONS

1209 Park St. Cross Plains, WI 53528

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

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PROJECT MANAGER

PROJECT NUMBER 16517-01

ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS

E001

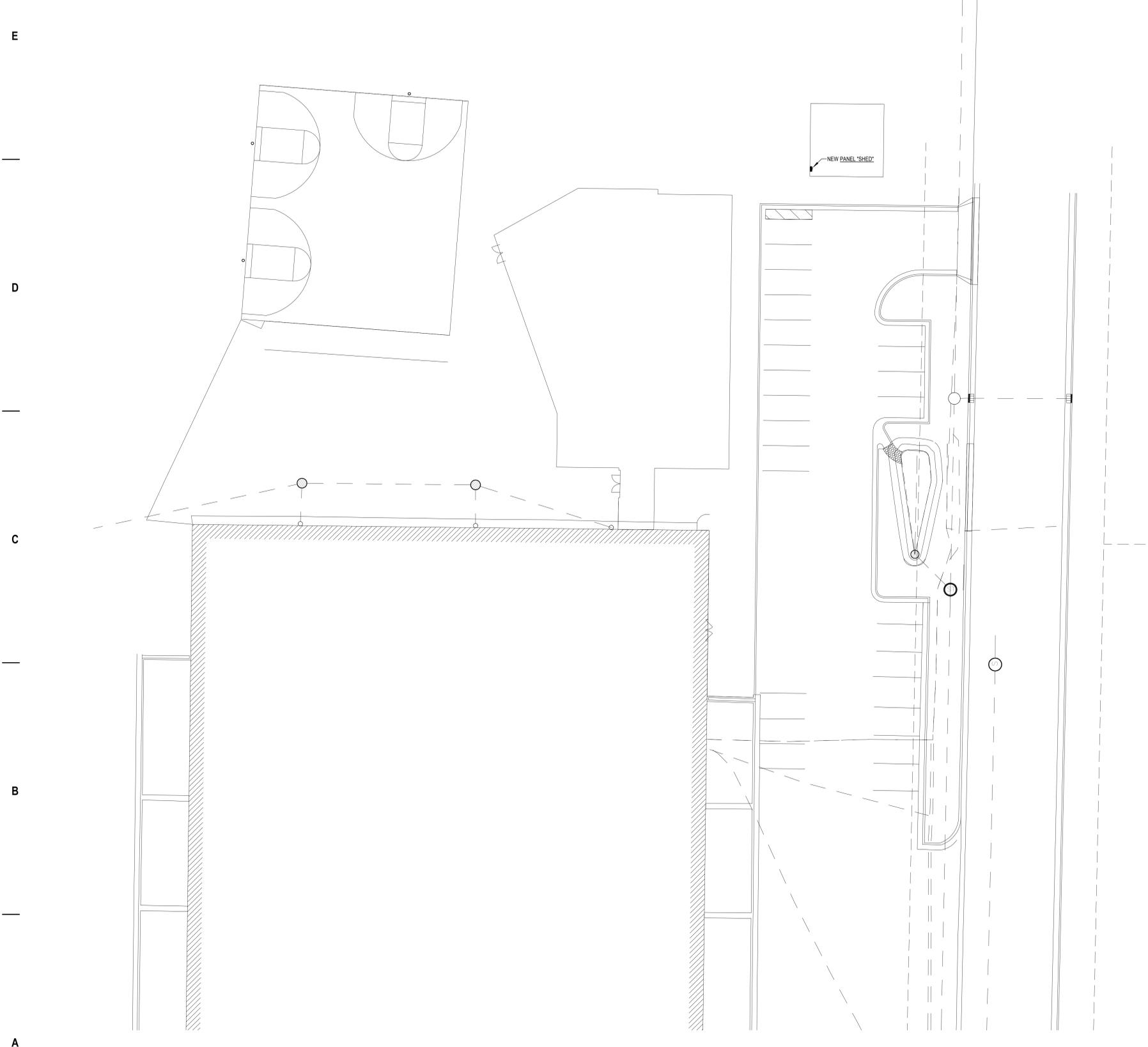
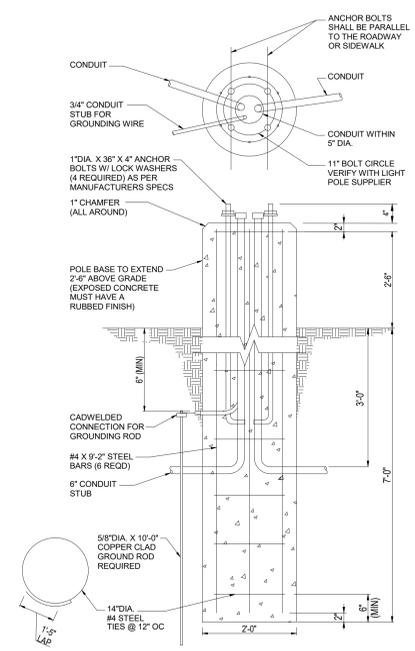
GENERAL NOTES

1. REFER TO E001 FOR GENERAL ELECTRICAL NOTES, SYMBOLS, ABBREVIATIONS, AND SCHEDULES

KEYED NOTES

① .

② .



1 FIRST FLOOR ELECTRICAL OVERALL - SITE
1/16" = 1'-0"



Village of Cross Plains
PO Box 97, 2417 Brewery Road
Cross Plains, WI 53528
Phone: (608) 798-3241
Fax: (608) 798-3817

Memorandum

To: Plan Commission
From: Bill Chang, Village Administrator/Clerk
Date: February 28, 2020
Re: **1909 Main Street Concept GDP Review**

Executive Summary

1909 Main Street has submitted a concept plan for Plan Commission review. The plan proposes to add outdoor entertainment to the use of the property.

Project Background

This property is currently zoned Main Street Mixed Use. Ms. Ripp was granted a conditional use permit in 2019 for indoor commercial entertainment. She would like to extend services to an outdoor patio and green space. Due to the constraints of the property and restriction from the buffer yard requirements in the MSMU district, staff has recommended that Ms. Ripp propose a general development plan to rezone the property. As part of the process, Ms. Ripp is asking for a Plan Commission review of the concept plan for the proposed development.

Code Review

Section 84.167 (PD) Planned Developments

This section of the zoning code allows for developments to have certain flexibilities. It also allows for staff, the Plan Commission, and the Village Board to add certain restrictions unique to the property.

Ms. Ripp had initially met with the Village Planner and Village Administrator/Clerk for a pre-Application conference to discuss her objectives and the process forward. A concept plan of the development is now being presented for Plan Commission review and recommendation to submit the GDP.

Recommendation

Village Staff recommends Plan Commission review, discuss of the concept plan and advise staff and Ms. Ripp regarding the next step.

SECTION 84.167 Planned Developments.

- (a) **Purpose.** The purpose of this Section is to provide regulations which govern the procedures for the review and approval, or denial, or proposed Planned Developments.
- (b) **Initiation of Request.** Proceedings for approval of a Planned Development may be initiated by any of the following:
 - (1) An application by the owner(s) of the subject property;
 - (2) A recommendation of the Plan Commission to the Village Board; or
 - (3) By action of the Village Board.
- (c) **Procedure for Planned Development Approval.** The procedure for zoning to a Planned Development (PD) district shall follow the Zoning Map Amendment procedure included in Section 84.160, except that the Planned Development procedure shall be subject to the following additional requirements.
 - (1) **Pre-Application Conference.** Prior to formal petition for zoning to a PD district, the applicant shall confer with appropriate Village staff in order to establish mutual understanding as to the basic concept proposed and to ensure proper compliance with the requirements for processing. Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the applicant or the Village, but should be considered as the informal, non-binding basis for proceeding to the next step.
 - (2) **Optional Concept Plan Review.** Upon completion of the pre-application conference, described above, the applicant may decide to prepare an optional conceptual plan for review by the Plan Commission.
 - a. At the Plan Commission meeting, the applicant shall engage in an informal discussion with the Plan Commission regarding the concept plan. Appropriate topics for discussion may include the any of the information provided in the concept plan, or other items as determined by the Plan Commission. Points of discussion and conclusions reached at this stage of the process shall be in no way be binding upon the applicant or the Village, but should be considered as the informal, non-binding basis for proceeding to the next step. The preferred procedure is for one or more iterations of Plan Commission review of the concept plan to occur prior to introduction of the formal application for rezoning, which accompanies the General Development Plan application (see (3), below).
 - b. The concept plan submittal shall include the following items (digital files should be submitted rather than paper copies whenever possible).
 - 1. A location map of the subject property and its vicinity.
 - 2. A general written description of the proposed PD, including:
 - (i) General project themes and images.
 - (ii) The general mix of dwelling unit types and/or land uses.

- (iii) Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface ratio, and/or other appropriate measures of density and intensity.
 - (iv) General treatment of natural features.
 - (v) Relationship to nearby properties and public streets.
 - (vi) Relationship of the project to the Comprehensive Plan.
 - (vii) Description of potentially requested exceptions from the requirements of this Chapter. The purpose of this information shall be to provide the Plan Commission with information necessary to determine the relative merits of the project with respect to private versus public benefit, and to evaluate the potential adverse impacts created by making exceptions to standard zoning district requirements.
3. A conceptual drawing of the site plan layout, including the general locations of public streets and/or private drives.
 4. The Plan Commission shall review the concept plan and, if accepted, shall inform the applicant to move on to the next step in the PD process, General Development Plan.

(3) **General Development Plan Review.** Upon acceptance of the Concept Plan by the Plan Commission, the applicant shall submit a General Development Plan (GDP) to the Zoning Administrator for determination of completeness. Upon determination of completeness by the Zoning Administrator, the GDP shall be placed on the Plan Commission agenda for review and recommendation. Upon recommendation of the Plan Commission, the GDP shall be reviewed by the Village Board. Upon approval of the GDP by the Village Board, the GDP shall establish the zoning for the property.

- a. The GDP submittal shall include the following items(digital files should be submitted rather than paper copies whenever possible):
 1. General location map of the subject site depicting:
 - (i) All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
 - (ii) Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds.
 - (iii) Current zoning of the subject site and abutting properties, and the jurisdiction(s) that maintains that control.
 - (iv) A graphic scale and a north arrow.
 2. Generalized site plan showing the pattern or proposed land uses, including:



Planned Development Application

Nineteen09 LLC
Dale & Katy Ripp
5700 Otto Kerl Rd
Cross Plains, WI 53528
February 25th, 2020

Village Administrator
Village of Cross Plains
PO Box 97, 2417 Brewery Rd
Cross Plains, WI 53528

To Whom It May Concern:

As owners of the property located at 1909 Main Street, we are submitting this document as application for a Planned Development

The following outlines the intended development:

Project Location: 1909 Main St, Cross Plains, WI

Zoning: MSMU - Main Street Mixed Use

Building Type: Two story building, 3079 sq ft retail/office space

Site Amenity Updates: Fenced Patio, Refuse Collection, Sidewalk to front door

1. Attached to this application is the location map of the subject property.
2. The following zoning ordinance flexibilities required for this project are as follows:
 1. Required minimum separation of 100 feet between outdoor commercial entertainment area and residential uses is proposed at 3 feet;
 2. Required minimum buffer yard of 0.8 opacity (30 feet wide) between outdoor commercial entertainment area and residential uses of 30 feet is proposed at 0.3 opacity and 3 feet;

3. Required minimum setback of concrete patio at 10 feet from the north and west property line is proposed at 3 feet.

3. The general description of our proposed planned development is as follows:

- The general theme of the project is to provide outdoor space available to our customers to enjoy music, drinks, food, outdoor lawn games, private events and classes. In addition, we will add a sidewalk from the driveway (American Legion Drive side) across our side yard to connect with our front entrance and also a fenced area to hide our garbage and recycling.

Within the fenced **patio** area:

- Outdoor patio space will include a mixture of concrete, grass, and stone pathways.
- Surrounded by 6'H opaque composite fencing (to deflect sound and block views) on the west, north and east boundaries.
 - Proposed opaque composite fencing will be low maintenance which will minimize the need to work on the north and west sides of the fence.
 - 3' from west and north property lines for maintenance purposes
 - Low maintenance Arbor Vitae will be planted on the west adjoining lot line to provide cover for neighbors. Weed mat and bark will be installed around trees.
 - Cedar trees on north lot line will be cleaned up for north adjoining neighbor.
 - Concrete and grass will touch the fence posts (no barrier between fence and concrete and grass)
- Black aluminum fence (3'H) on the south side (Main Street).
- One-way locked gates (may exit freely, must enter patio through building) will be located on the south side (Main Street) and north east corner (American Legion Rd).

- Seating for up to 75 guests will be provided in the form of picnic tables, Adirondack furniture, stone benches, pub tables, lawn chairs and patio furniture.
- Colorful umbrellas and/or fabric awnings may be used for shade.
- Fencing panels and bushes will be installed to cut down on air conditioning noise.
- Overhead “patio” string lighting will be strung from fencing connected to the building at less than 100 watts per bulb and put on a dimmer.
- Down lit lights will be attached to each fence pole.
- Solar pathway lighting will be at 60 watts.
- A raised, stone surrounded gas fire pit will be installed at the northwest corner of the property.
- Lawn games may include Bean Bag toss, Lawn Jenga, Spike ball, Badminton, Croquet, Bocce, Dice, etc.
 - We do not intend to host organized league play or scheduled games
- Dogs will be welcome in the fenced area but required to be on a maximum 6-foot leash.
- Guests may bring in their own food.
- Events may include, but not limited to, rehearsal dinners, wedding ceremony and receptions, bridal/baby showers, workshops, classes, meetings, musical events, food trucks, etc.
- Music will be acoustic and live (no DJs) and will end at 10:00pm daily.
- Hours of operation will be 8:00am (open for classes (i.e. fun runs, yoga, etc. or workshops) until our normal operating hours no later than 12:00am.
- Up to five portable domes may be installed on the concrete portion of the patio for guests to rent in 90 minute increments in the fall, winter and spring. (Find more information about this concept here: <https://cafebenelux.com/luxdomes/>). Photo attached.

Sidewalk to main entrance:

- From the driveway on the east property line (American Legion Drive) a concrete pathway will connect to the

main entry to the building. This will make it easier to get through the front door. Solar pathway lighting will be down it and not exceed 100 watts.

Fencing around **refuse**:

- Composite opaque fencing that matches the exterior of the patio (west, north and east sides) will be constructed around an existing concrete triangle adjacent to the east side of the building.

In summary, we feel the proposed use for this historic, charming building will be a welcome addition for Cross Plains residents and will attract visitors from neighboring communities. We look forward to working with the Village to make this project an important amenity for the community.

Sincerely,

Dale & Katy Ripp

Existing Cedar Trees (neighbors)

3' from property line

75'

One Way Locked Gate (exit freely, enter through front door)

Lighting on each fence post

Arbor Vitae

Gas Firepit 15' from fence and dwelling

Stamped Concrete

30'6"

62'

71'

Grass

Arbor Vitae

Arbor Vitae

Arbor Vitae

Arbor Vitae

Arbor Vitae

Air Conditioning Units

Matching fence surrounding garbage

Iron Fence on Main Street side

One Way Locked Gate (exit freely, enter through front door)

12'

14'

Fence

Overhead Patio Lighting

Fence Post Down Lighting/Sconce

Locked Gate

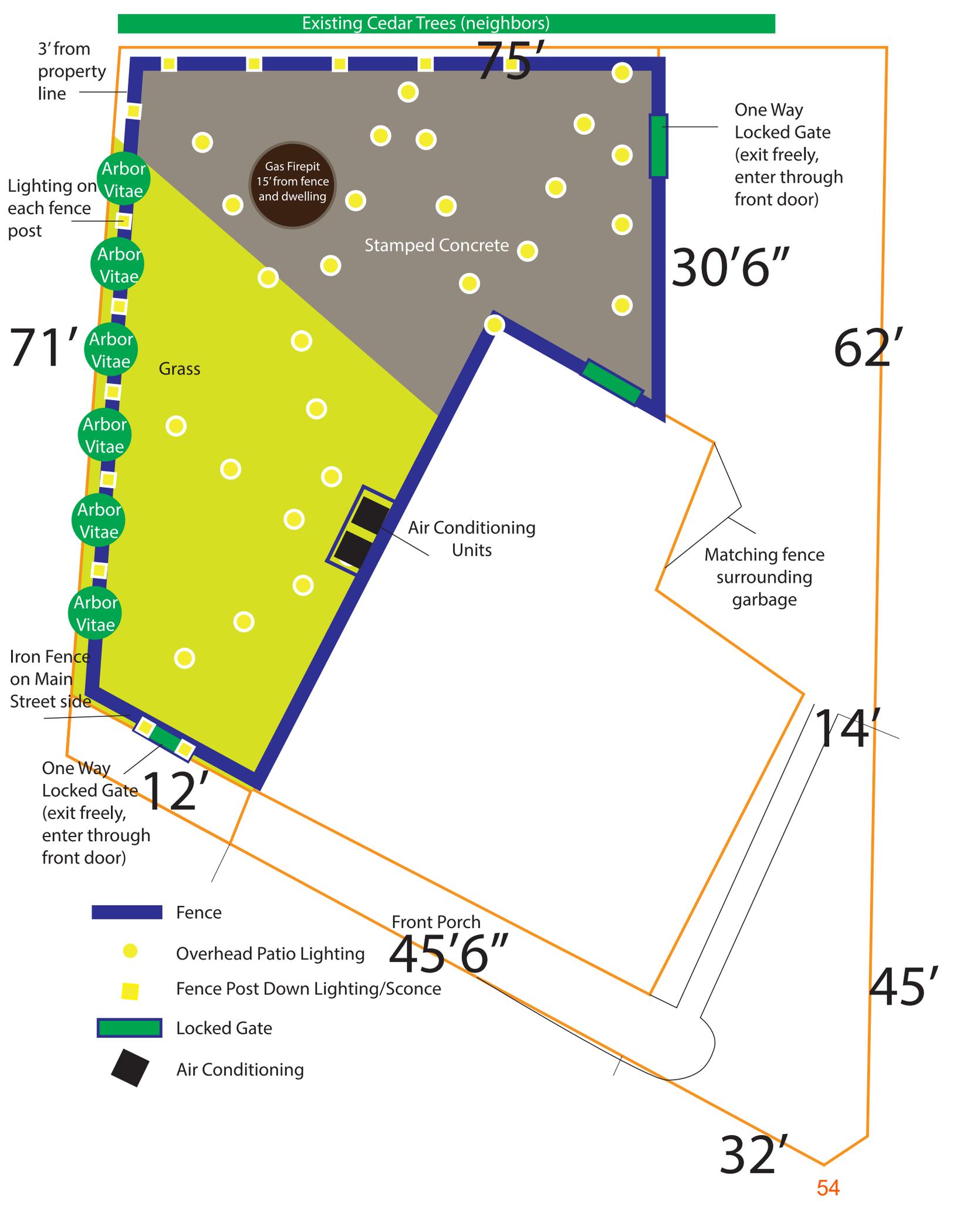
Air Conditioning

Front Porch 45'6"

45'

32'

54





Village of Cross Plains
PO Box 97, 2417 Brewery Road
Cross Plains, WI 53528
Phone: (608) 798-3241
Fax: (608) 798-3817

Memorandum

To: Plan Commission
From: Bill Chang, Village Administrator/Clerk
Date: February 28, 2020
Re: **Creek Crossing**

Executive Summary

The Creek Crossing at St. Francis Subdivision Development continues to move forward. As part of the planning for this project, the Developer is now proposing a Planned Residential Development instead of condominiums. Ron Klaas, engineer for the project will provide an update to the Plan Commission.

Recommendation

Village Staff recommends Plan Commission review, discuss of the concept and revised plat map to provide comment.

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregan, Professional Land Surveyor S-2742, hereby certify that this preliminary plat is a true representation of all the adjacent existing land divisions and of the boundary of the preliminary plat and features and that I have fully complied with the Village of Cross Plains Subdivision Ordinance.

Dated this 17th day of January, 2020.

Brett T. Stoffregan
Brett T. Stoffregan, Professional Land Surveyor S-2742



NOTES

- All streets are dedicated to the public.
- All intersection radii are 15' unless noted.
- All elevations shown are in NAVD88(2012) datum.
- Any drain tiles found during exploration or construction shall be located and plugged with hydraulic cement.
- No alterations to approved final grades will be allowed without written consent from utilities and the Village.
- Proposed Zoning: Lots 1-42, Outlot 2: (PD) Planned Development
Lots 43-61 and 66-97: (SR-5) Single Family Residential
Lots 62-65: (DR-6) Duplex Residential
Outlots 3-5: C-Conservation
Existing Zoning (TOWN OF BERRY): A-1(EX)
- Building Setbacks:
Lots 1-42: See GDP documents
Lots 43-61 and 66-97 - (SR-5) Zoning
Min. Front: 25'
Min. Street Side: 25'
Min. Side: 10'
Rear: 25'
Accessory Building side and rear: 10'
Lots 62-65 - (DR-6) Zoning
Min. Front: 25'
Min. Street Side: 25'
Min. Side: 10' or 0'
Rear: 25'
Accessory Building side and rear: 10'
- Outlot designation:
1, 3-5 - Dedicated to the public
2 - Private open space and private roadway to be owned and maintained by the homeowners association, Public Sanitary Sewer, Public Water Main Easement and Public Access Easement over the entire outlot.
- Owner:
Zander Revocable Trust
4867 County Highway P
Cross Plains, WI 53528
Subdivider:
Creek Crossing at St. Francis, LLC
2947 Thimmes Street
Cross Plains, WI 53528
Engineer and Surveyor:
D'Onofrio Kottke & Assoc.
7530 Westward Way
Madison, WI 53717

LEGEND

- FOUND PLSS MONUMENT
- FOUND 1" IRON PIPE
- FOUND 3/4" REBAR
- FOUND 1-1/4" REBAR
- SS SS SANITARY SEWER
- W W WATER MAIN
- ST ST STORM SEWER
- G G GAS MAIN
- DHE DHE OVERHEAD ELECTRIC
- E E UNDERGROUND ELECTRIC
- T T UNDERGROUND TELECOMMUNICATION
- E ELECTRIC TRANSFORMER
- T TELEPHONE PEDESTAL
- MANHOLE
- POWER POLE
- HYDRANT
- X FENCE
- CONCRETE CURB AND GUTTER
- EXISTING CONTOUR LINE
- "RECORDED AS" INFORMATION

LEGAL DESCRIPTION

A parcel of land located in the SE1/4 of the NW1/4 and in the SW1/4 of the NE1/4 of Section 35, T8N, R7E, Village of Cross Plains, Dane County, Wisconsin to-wit: Commencing at the East 1/4 corner of said Section 35; thence N89°56'30"W, 1976.23 feet along the South line of said NE1/4 to a point on the Northwestly right-of-way line of County Highway "P", also being the point of beginning; thence N89°56'30"W, 704.67 feet along said South line to the Center of said Section 35; thence N23°37'52"W, 882.96 feet along a Northeastly right-of-way line of Laufenberg Boulevard and the Northeast lines of Outlot 5, Lot 75 and Lot 76. First Addition to the St. Francis Addition to the Village of Cross Plains, to the Northeast corner of said Lot 75 and the Southeast corner of Lot 1, Certified Survey Map No. 9368; thence N05°18'07"E, 525.95 feet along the East line of said Lot 1, to a point on the South right-of-way line of Stone Valley Road; thence S89°30'42"E, 329.90 feet along the said South right-of-way line to the Northwest corner of the SW1/4 of the NE1/4 of said Section 35; thence N89°54'39"E, 913.24 feet along the North line of the SW1/4 of the NE1/4 of said Section 35, to a point on the centerline of N. Hill Point Road; thence along said centerline S17°44'11"W, 61.39 feet to a point of curve; thence along said centerline on a curve to the left which has a radius of 804.43 feet and a chord which bears S10°08'19"W, 212.72 feet; thence along said centerline S02°32'28"W, 81.89 feet to a point of curve; thence along said centerline on a curve to the left which has a radius of 1153.99 feet and a chord which bears S02°04'17"E, 185.60 feet; thence along said centerline S06°41'02"E, 55.18 feet to point of curve; thence along said centerline on a curve to the left which has a radius of 328.85 feet and a chord which bears S10°04'49"E, 38.96 feet to a point of curve on the Northwestly right-of-way line of County Highway "P"; thence along said Northwestly right-of-way line on a curve to the left which has a radius of 415.00 feet and a chord which bears S36°08'56"W, 41.97 feet; thence along said Northwestly right-of-way line S01°05'58"W, 366.79 feet to a point of curve; thence along said Northwestly right-of-way line on a curve to the left which has a radius of 3854.83 feet and a chord which bears S28°37'02"W, 111.94 feet; thence along said Northwestly right-of-way line S27°47'07"W, 231.43 feet to the point of beginning, Containing 1,461,024 square feet (33.541 acres).



D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone 608.893.7530 • Fax 608.893.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

PRELIMINARY PLAT
CREEK CROSSING AT ST. FRANCIS
 LOCATED IN THE SE1/4 OF THE NW1/4 AND IN THE SW1/4 OF THE NE1/4 OF SECTION 35, T8N, R7E, TOWN OF BERRY, DANE COUNTY, WISCONSIN

GRID NORTH
 WISCONSIN COUNTY COORDINATE SYSTEM (DANE ZONE)

SCALE: 1" = 100'
 (22"x34")

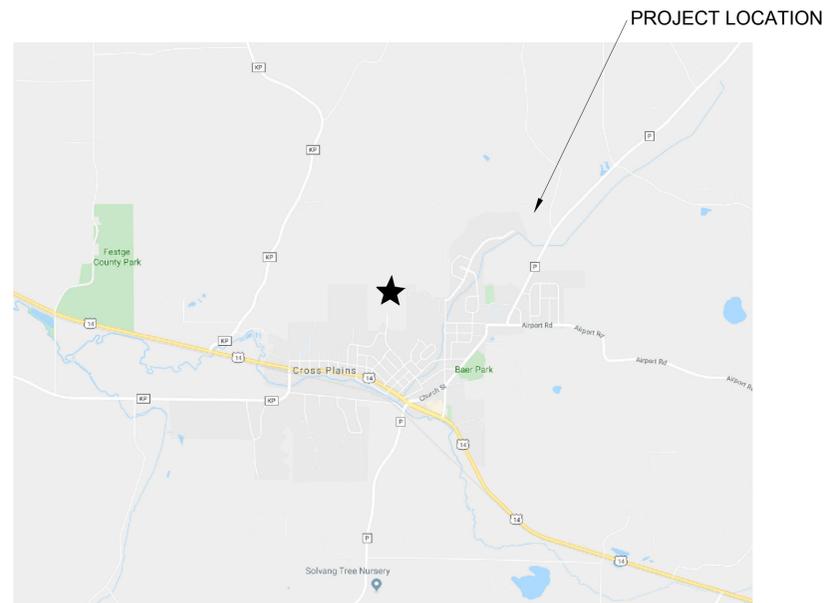
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FN: 17-07-128
 Sheet Number:
 1 of 1

CREEK CROSSING

ENGINEERING PLANS

VILLAGE OF CROSS PLAINS DANE COUNTY, WISCONSIN



Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	PP - LAUFENBERG BLVD
3	PP - LAUFENBERG BLVD
4	PP - LAUFENBERG BLVD
5	PP-A STREET
6	PP-A STREET
7	PP-A STREET
8	PP-PRIVATE ROAD A
9	PP-PRIVATE ROAD A
10	PP-PRIVATE ROAD A
11	PP-PRIVATE ROAD B
12	OVERALL GEC
13	UTILITY SCHEMATIC
14	DETAILS

FN: 19-05-128

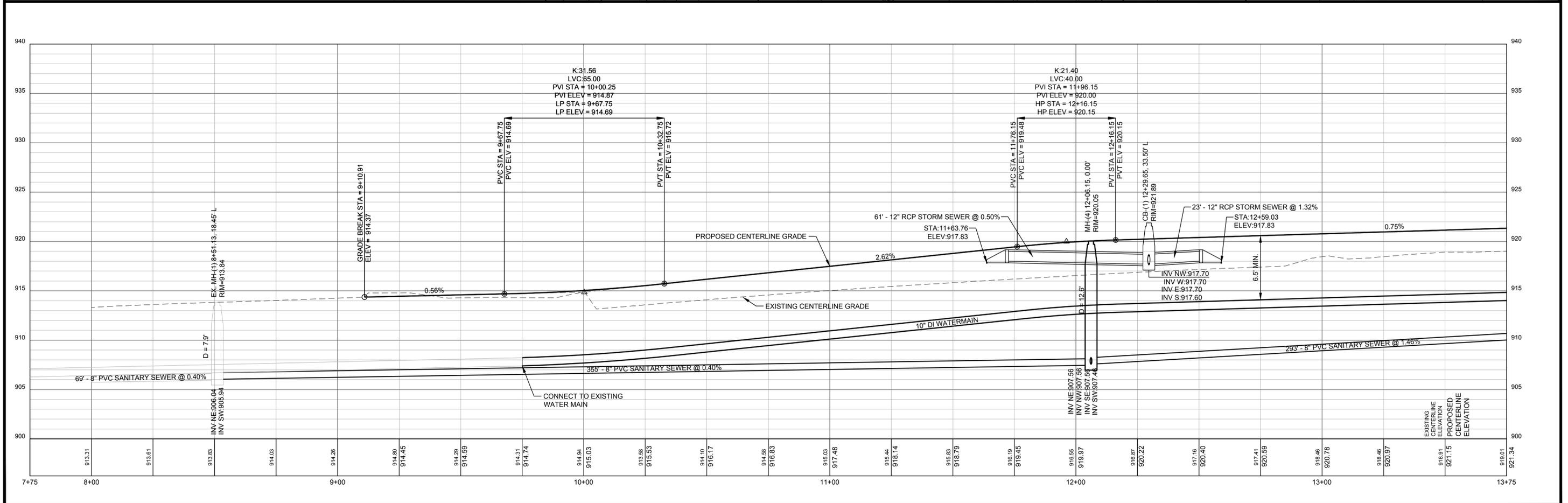
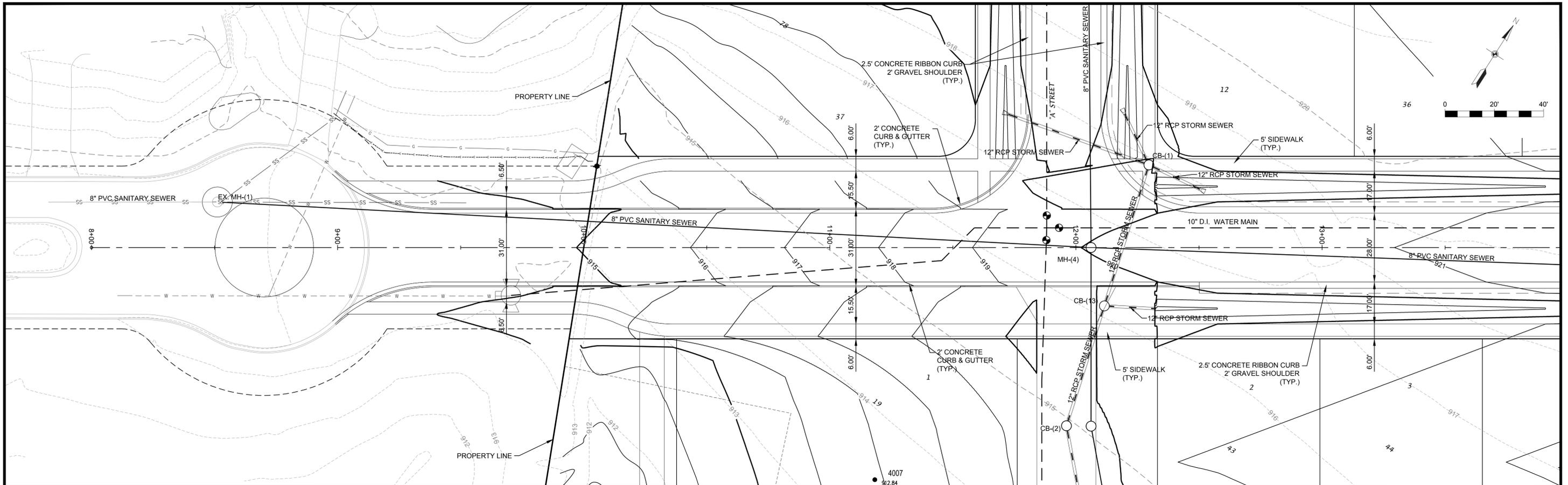
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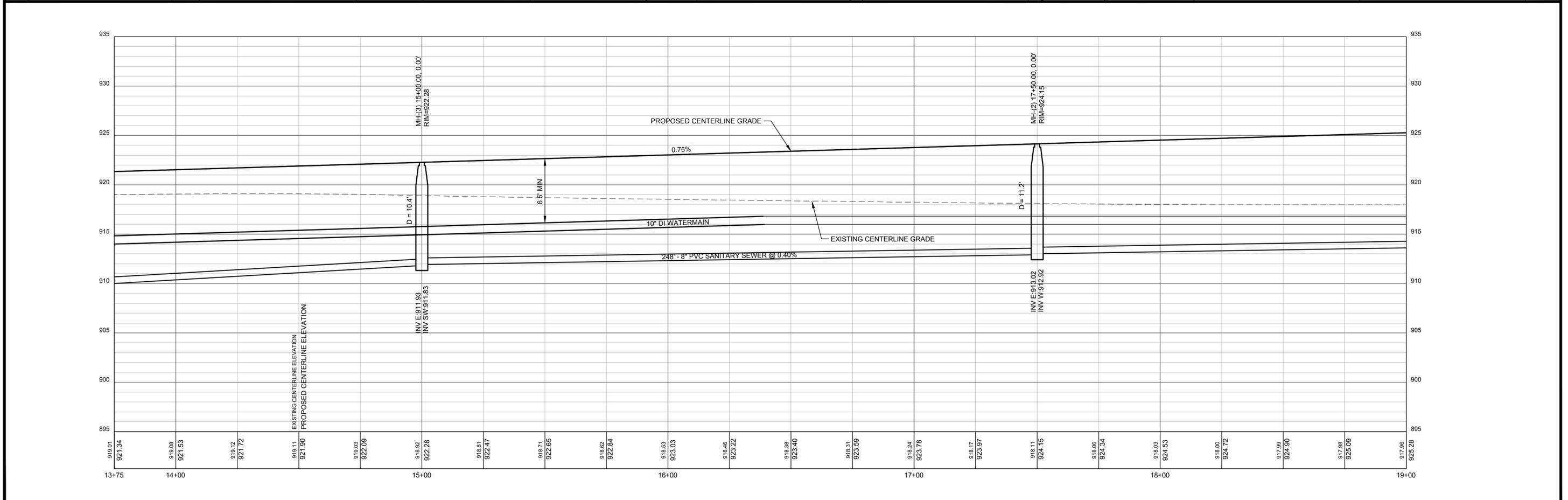
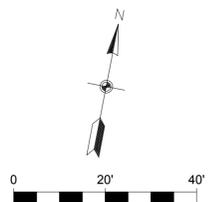
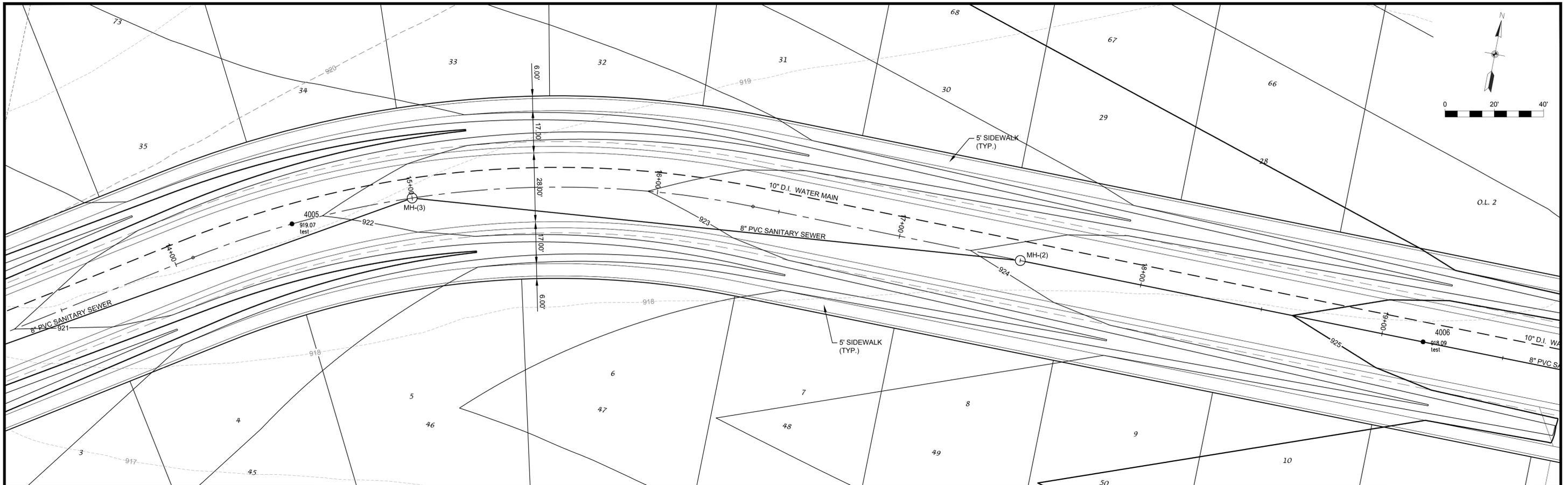
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
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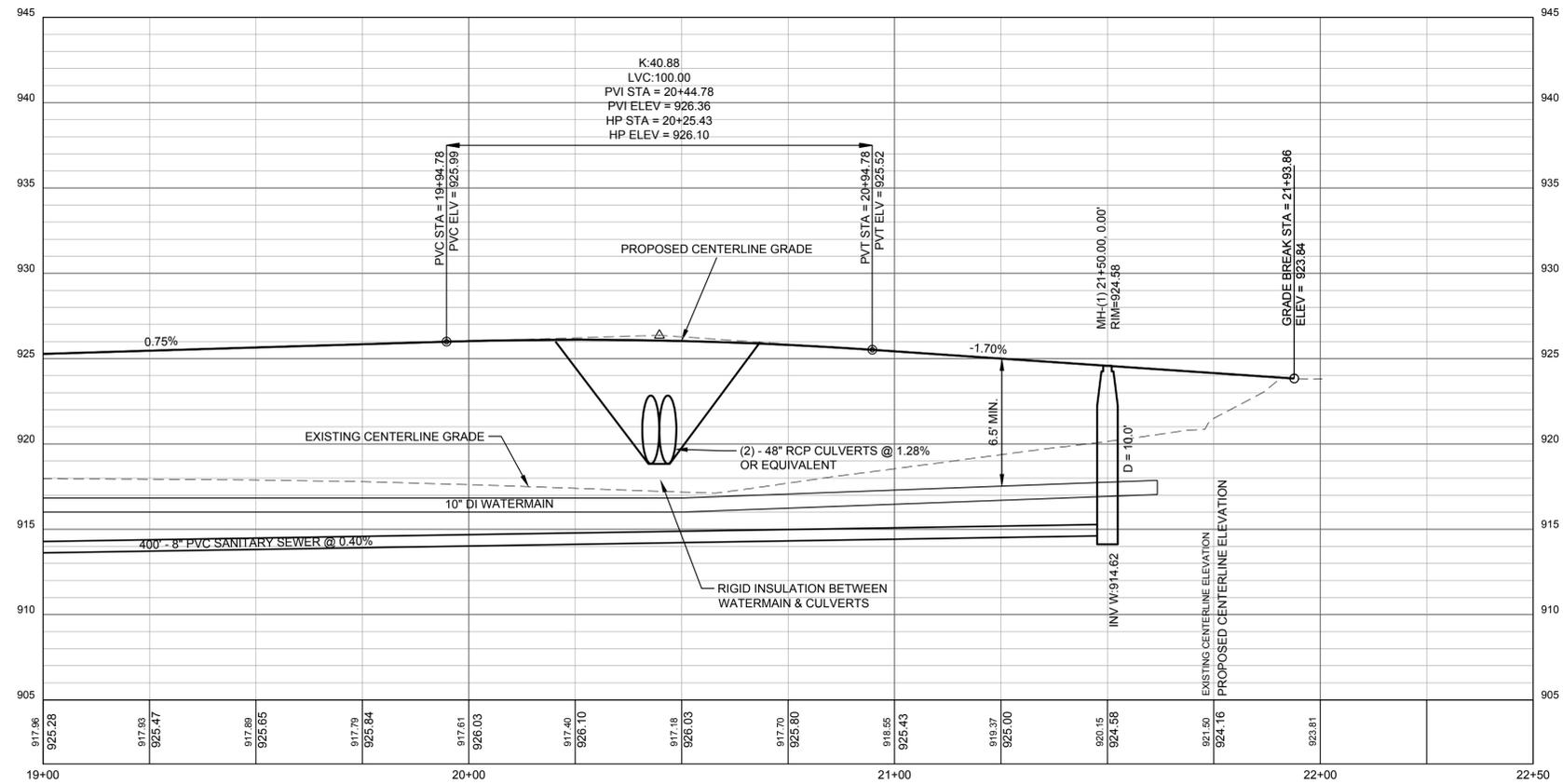
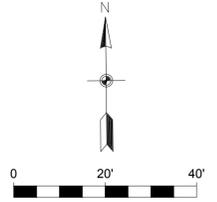
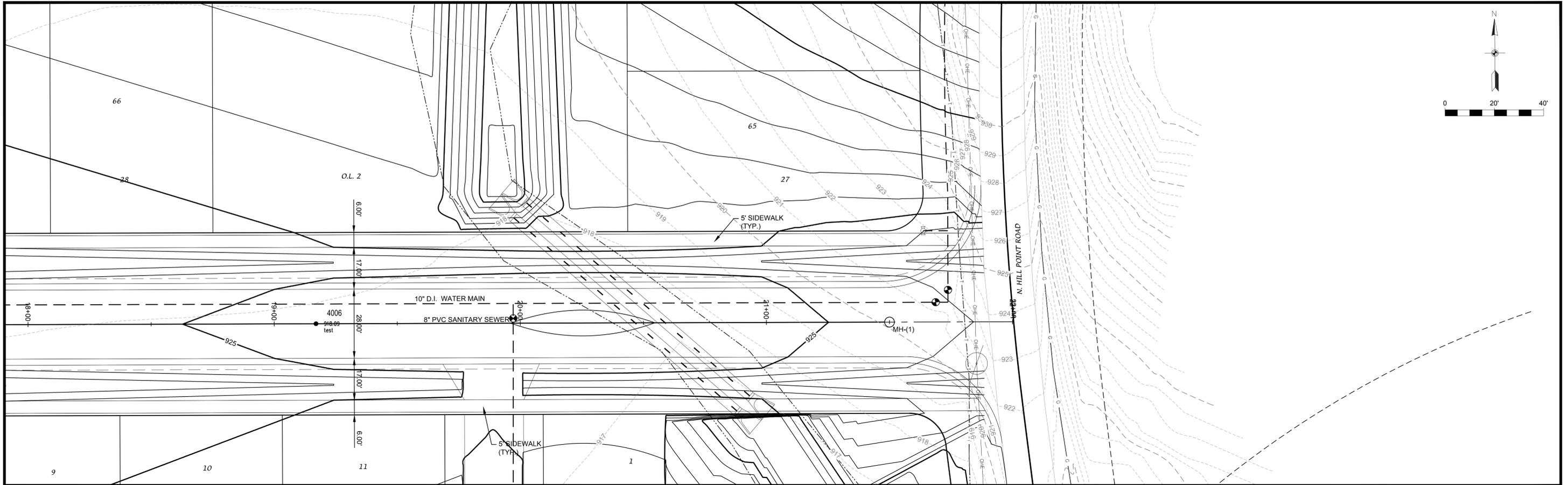
COVER
CREEK CROSSING
VILLAGE OF CROSS PLAINS, DANE COUNTY, WI

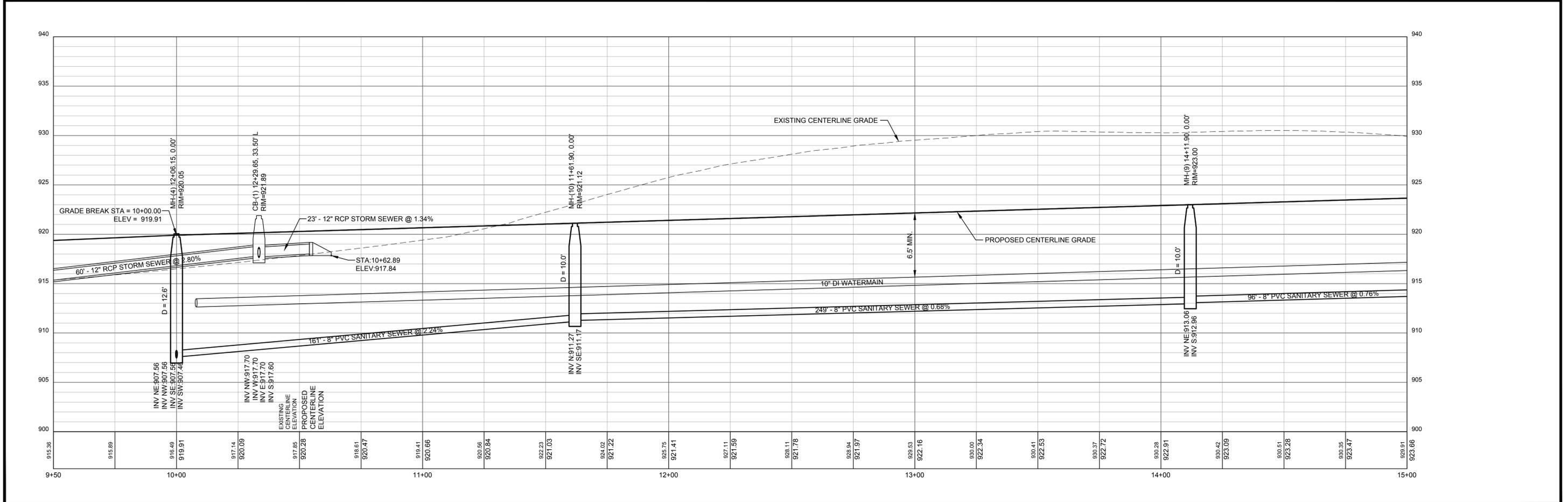
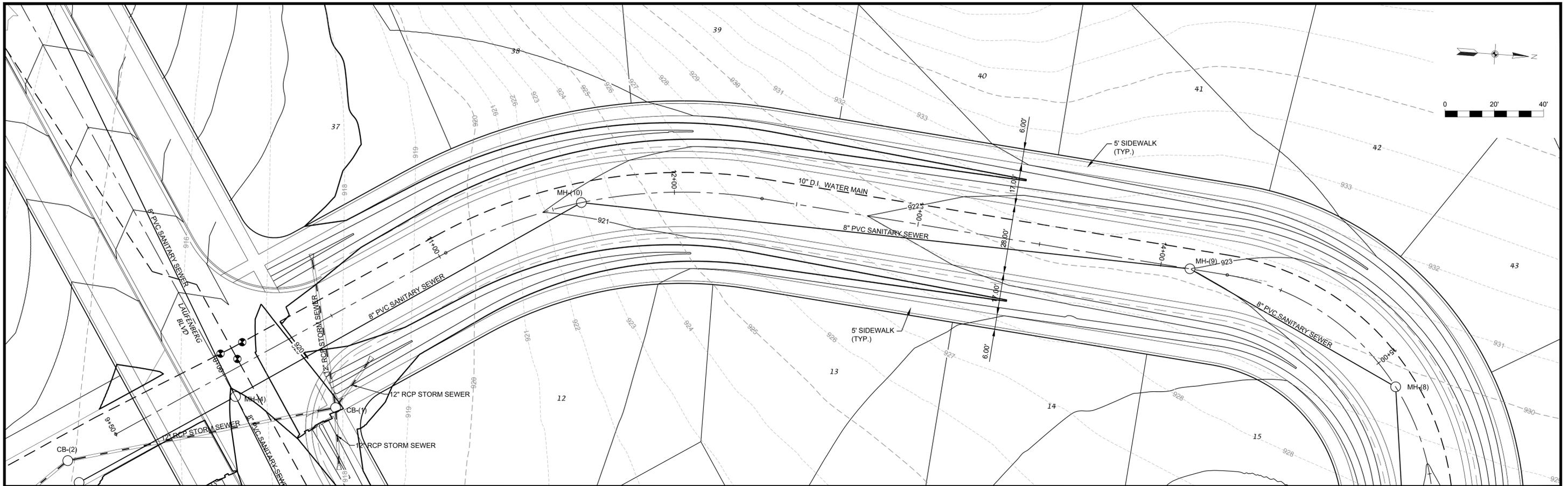
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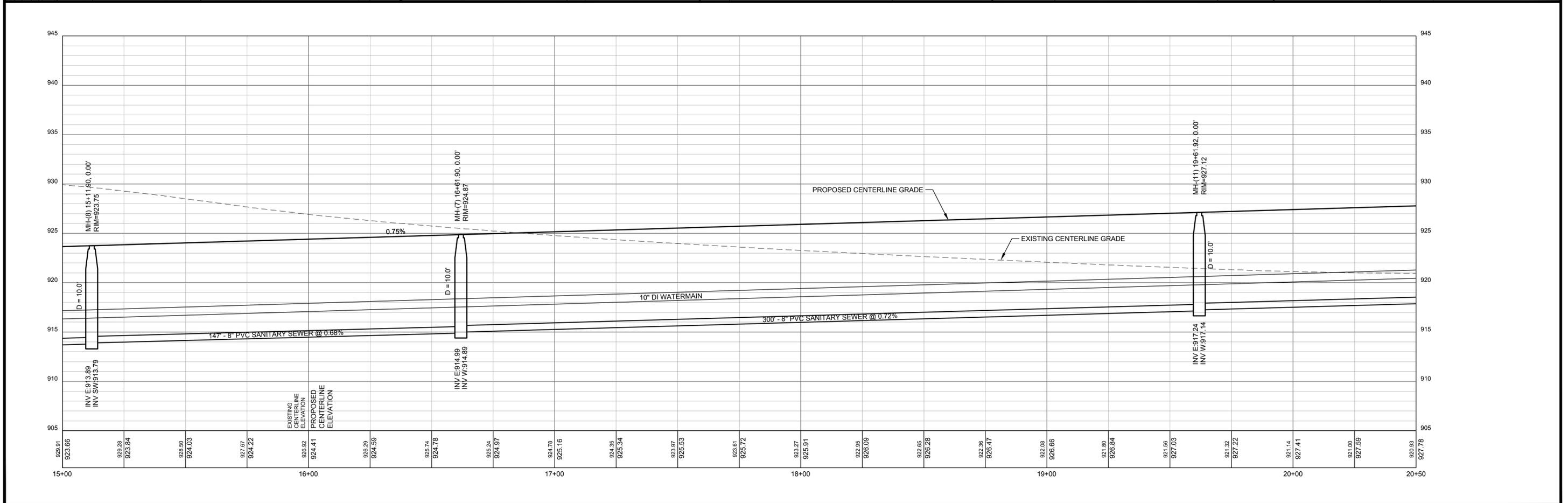
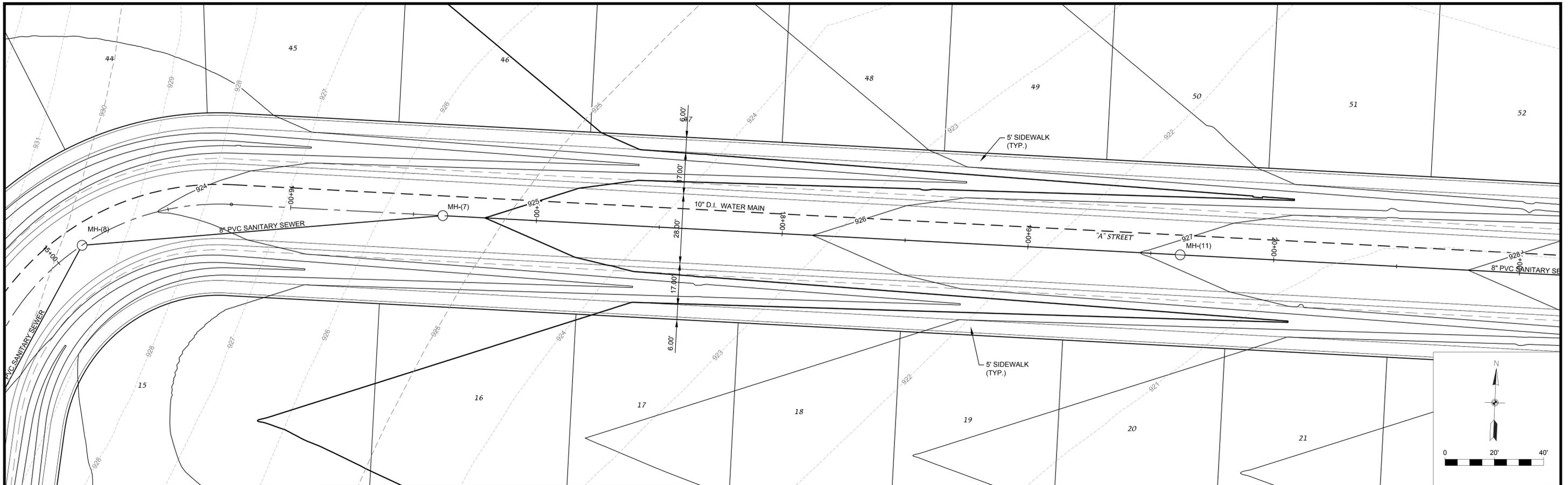
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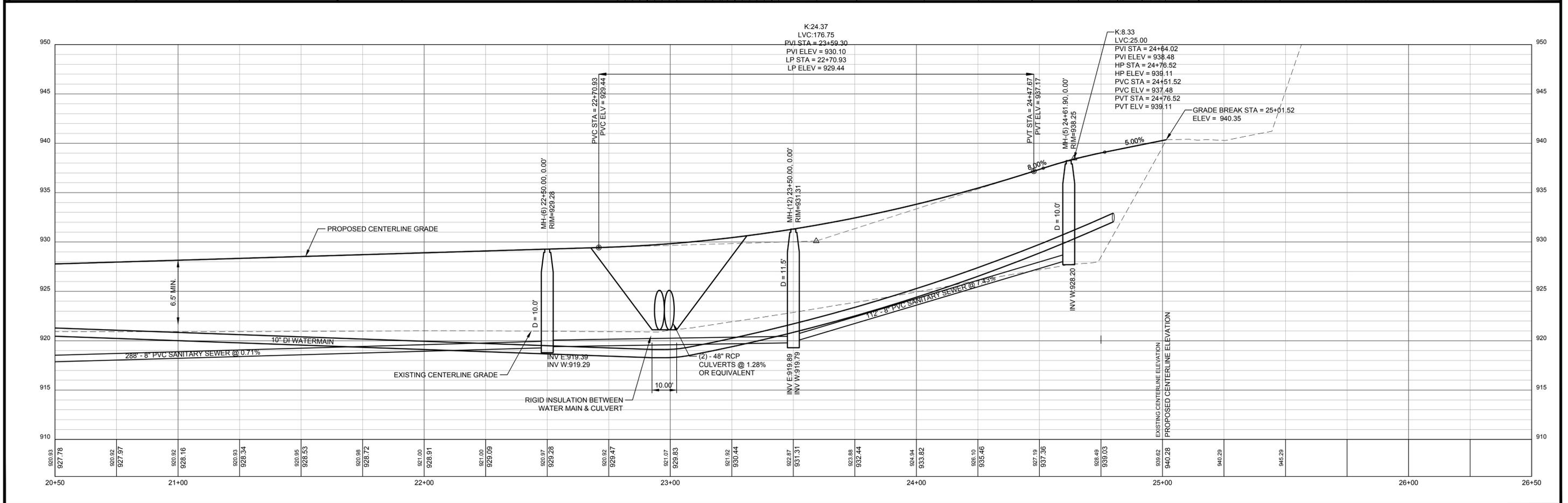
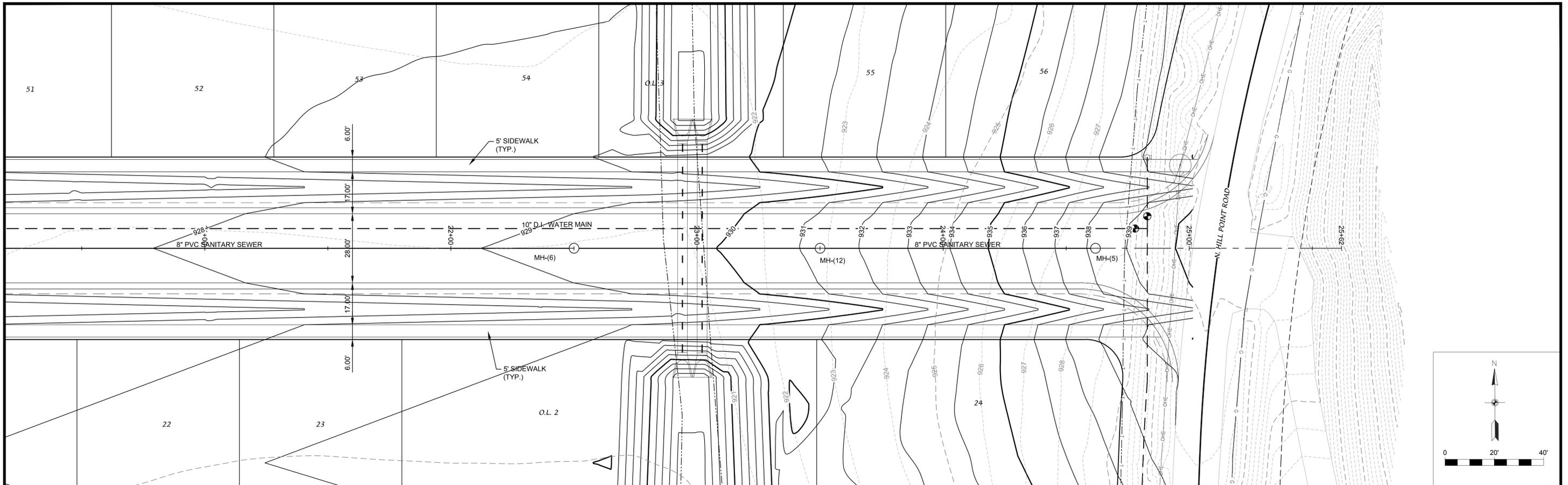


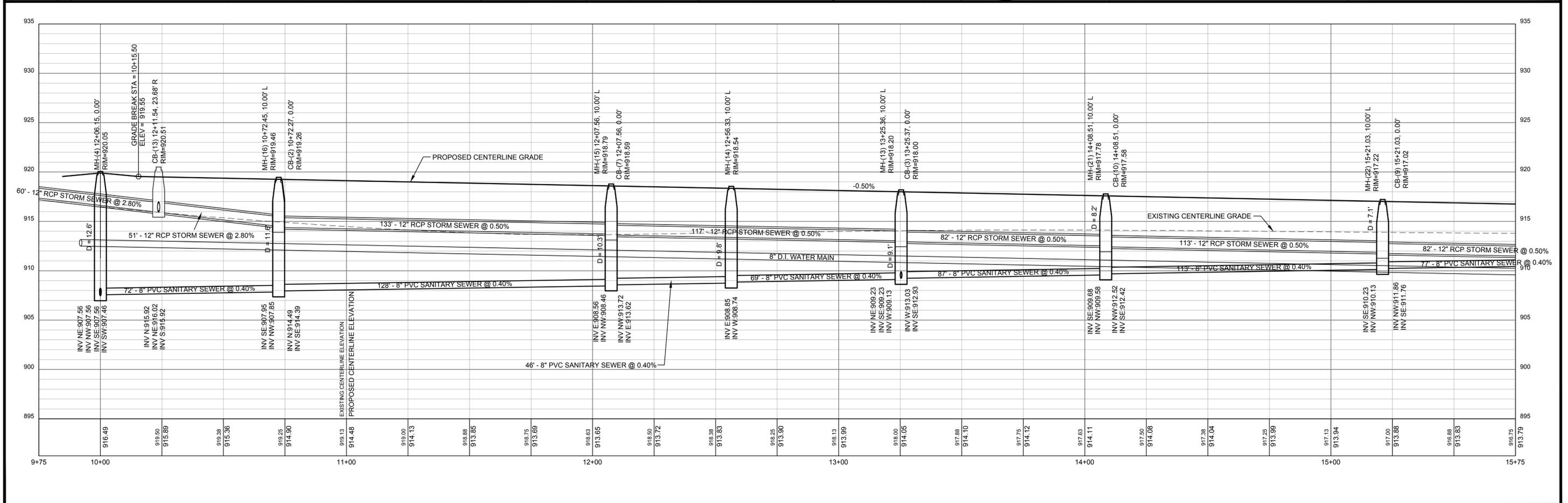
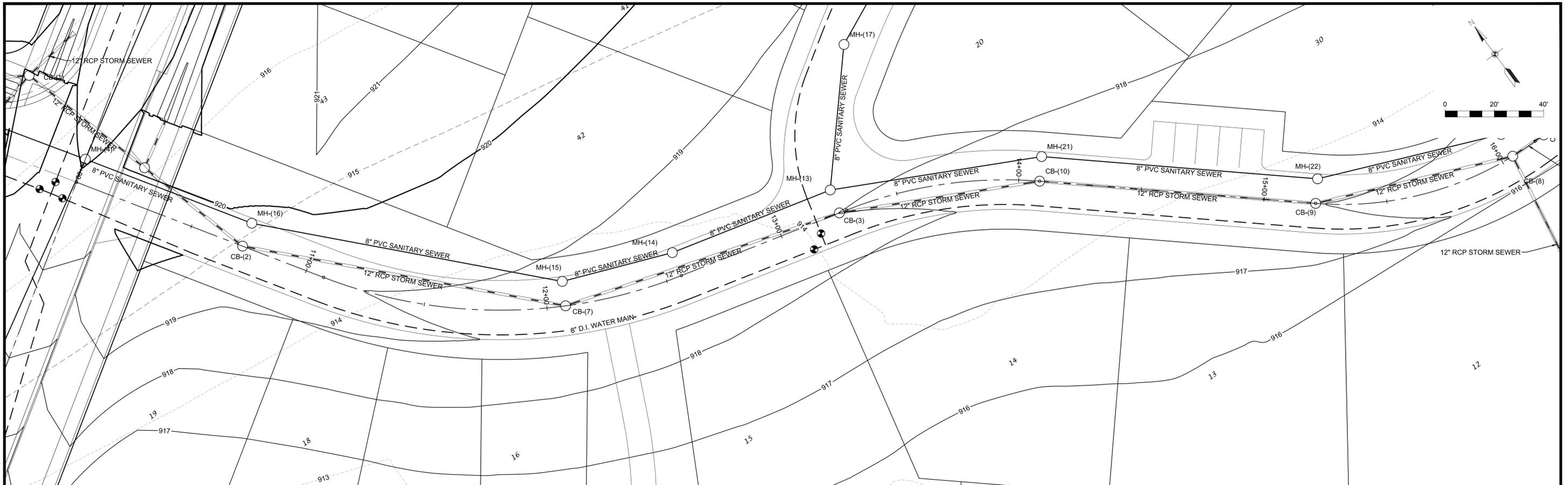


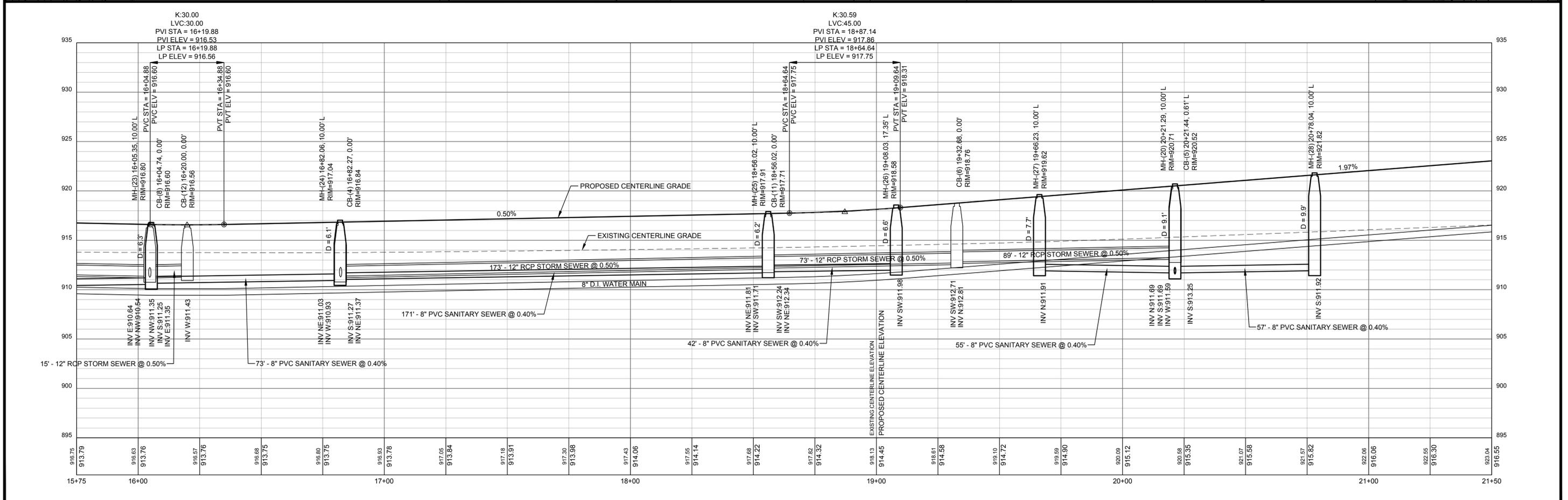
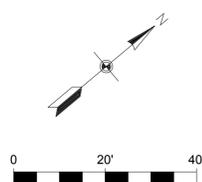
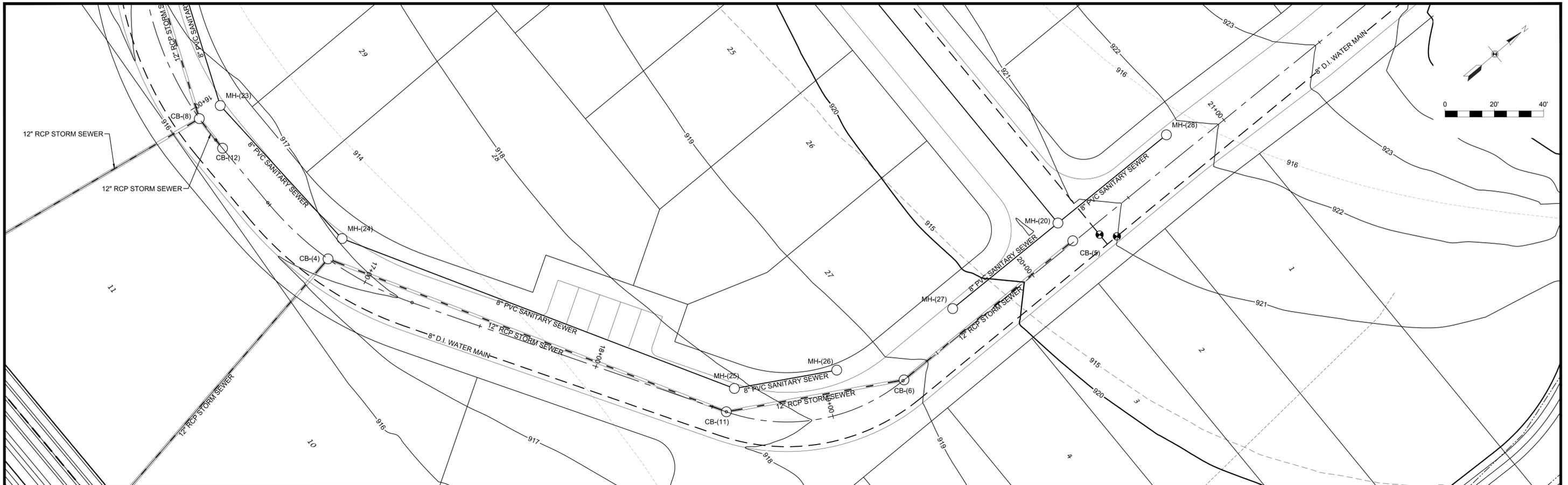


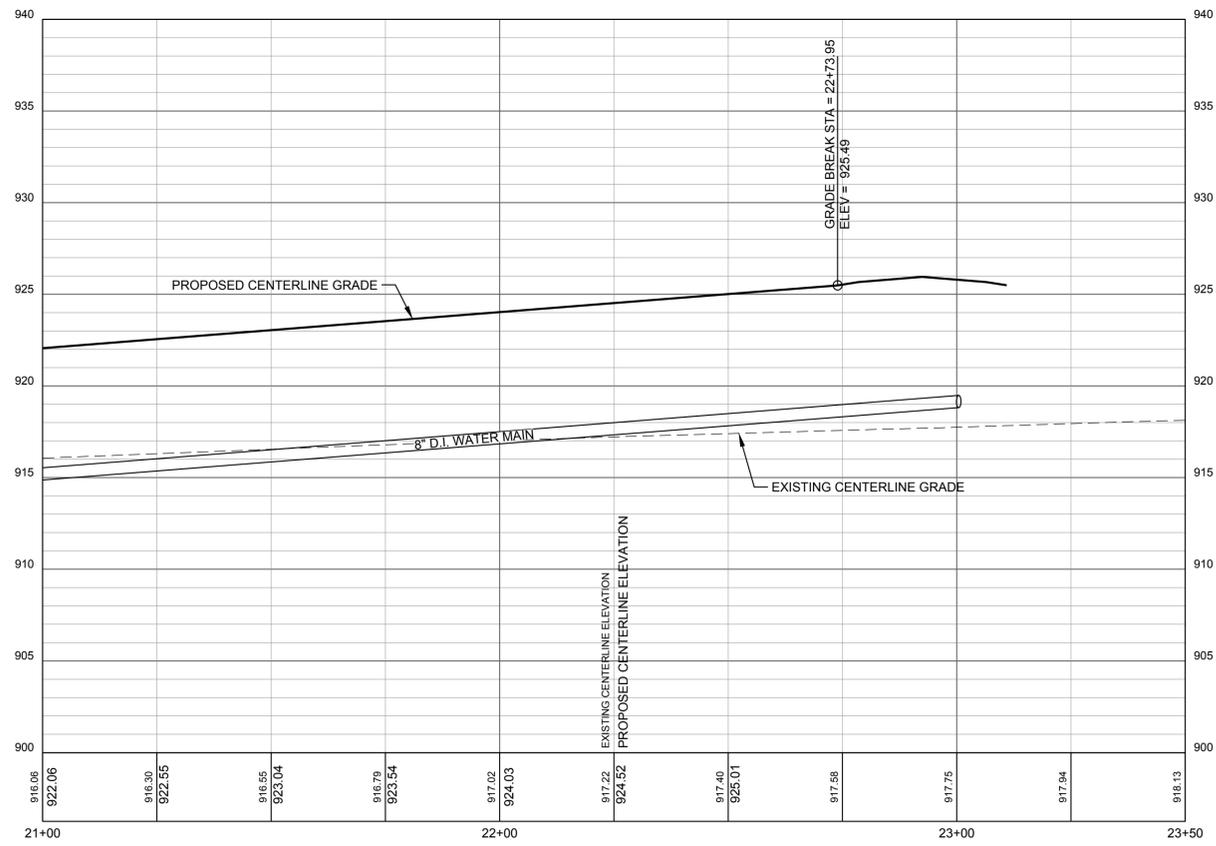


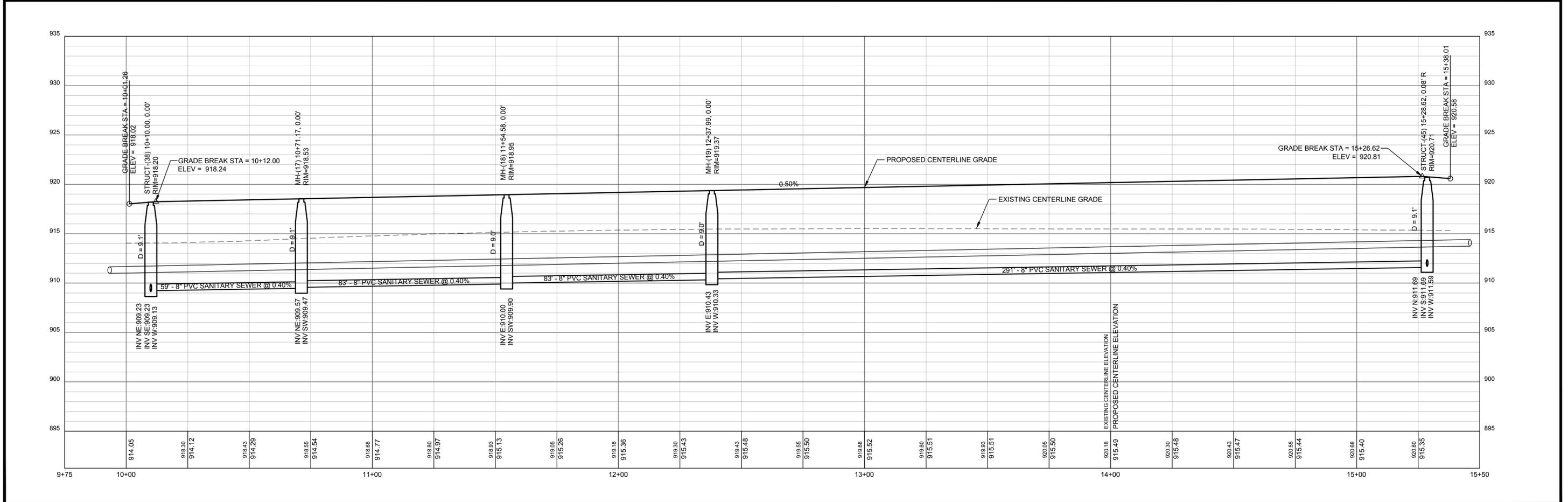
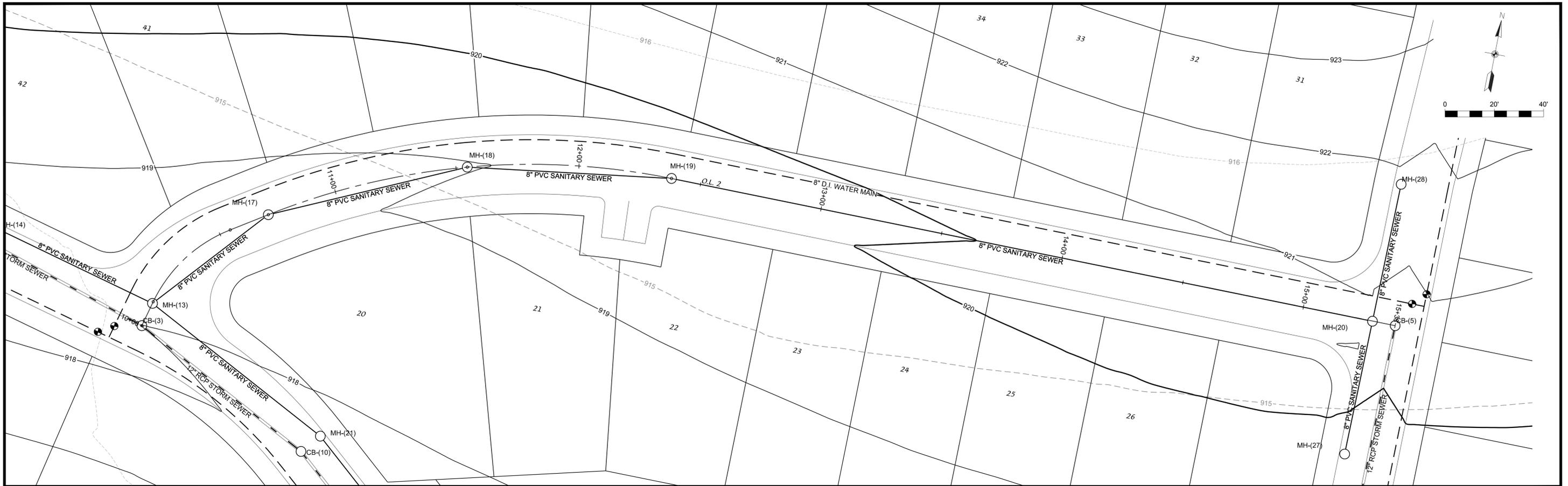








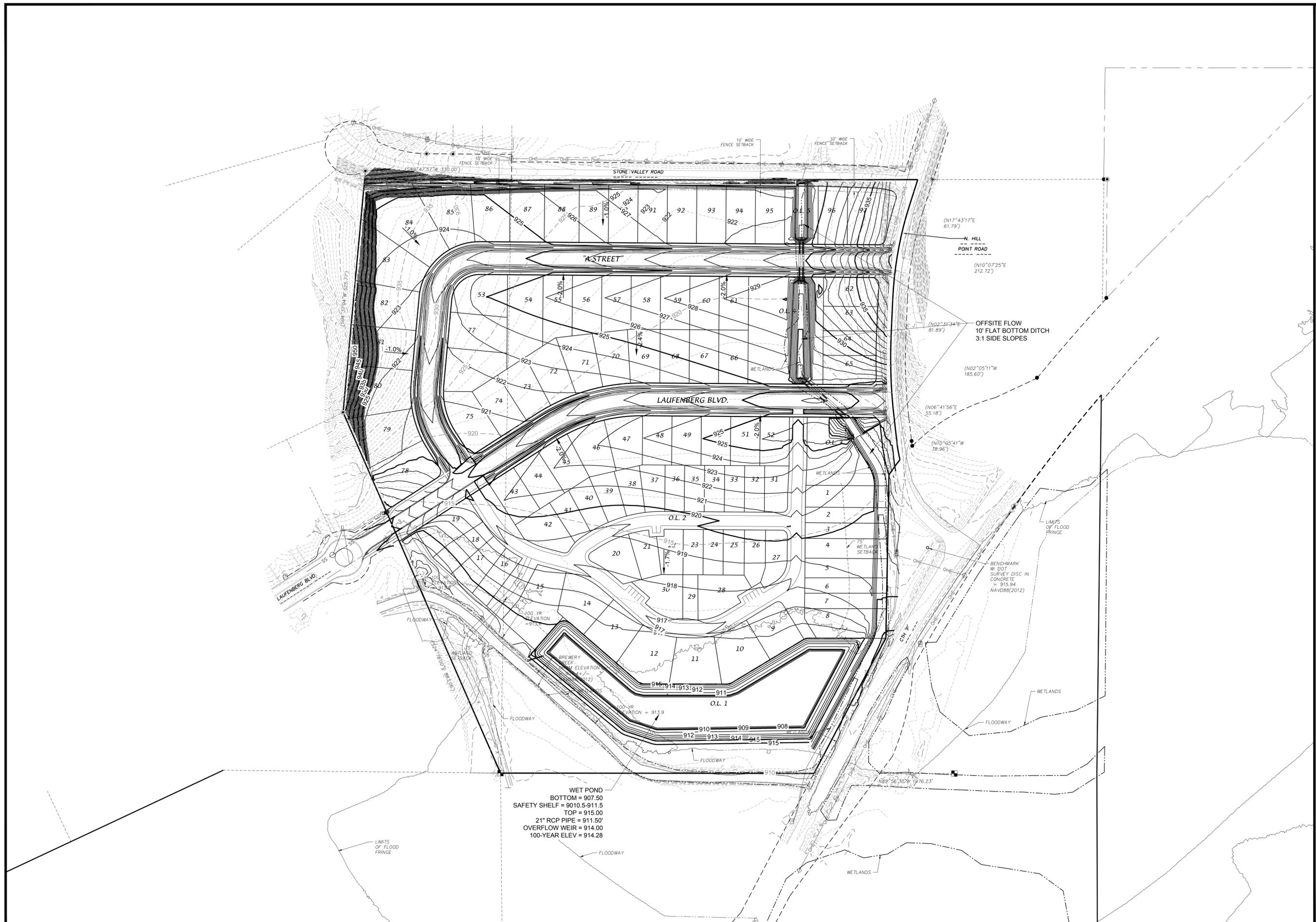




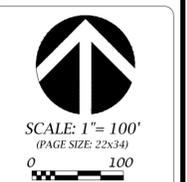
OVERALL GEC
CREEK CROSSING
 VILLAGE OF CROSS PLAINS, DANE COUNTY, WI


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UTILITY SCHEMATIC
CREEK CROSSING
 VILLAGE OF CROSS PLAINS, DANE COUNTY, WI



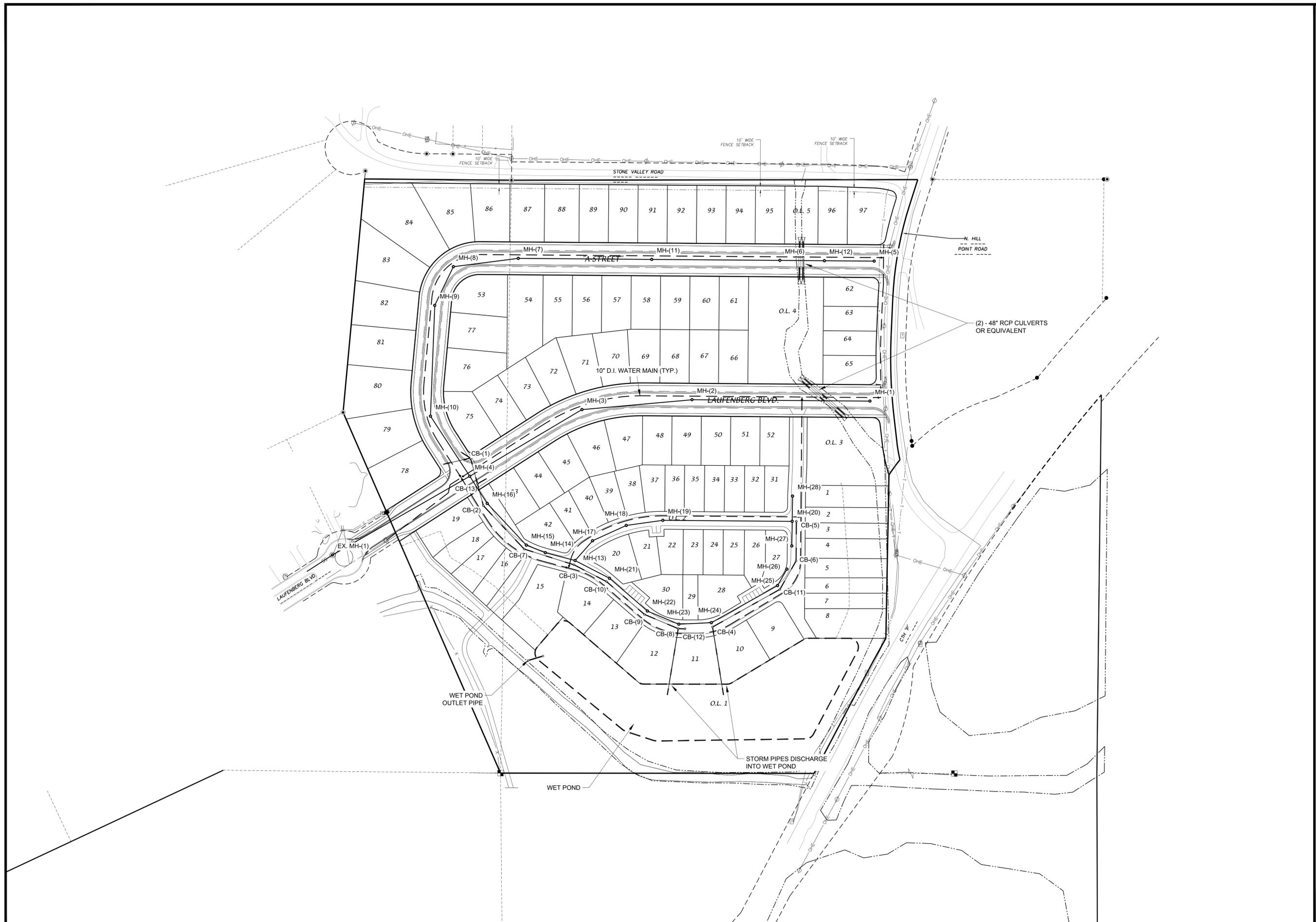
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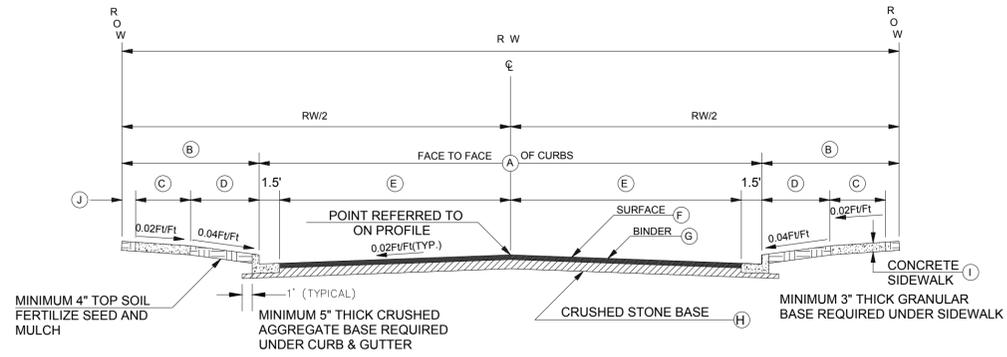
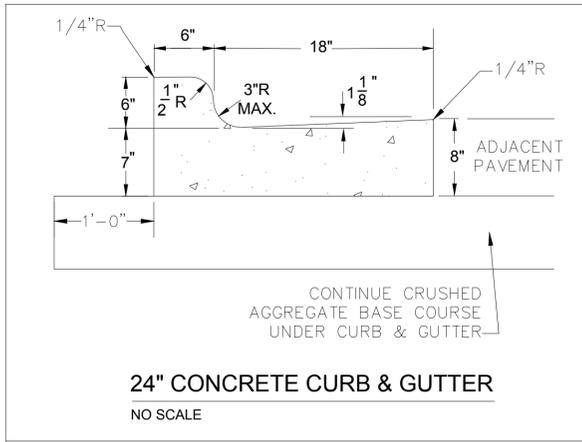
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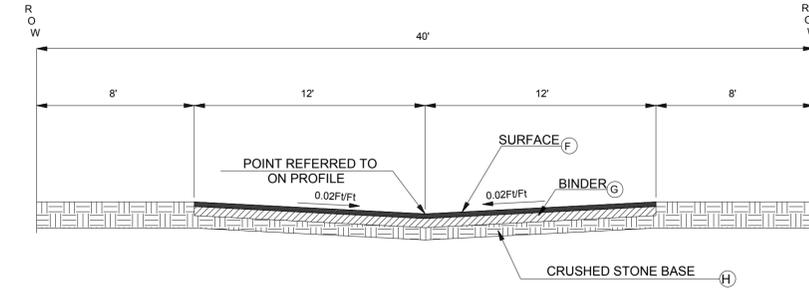
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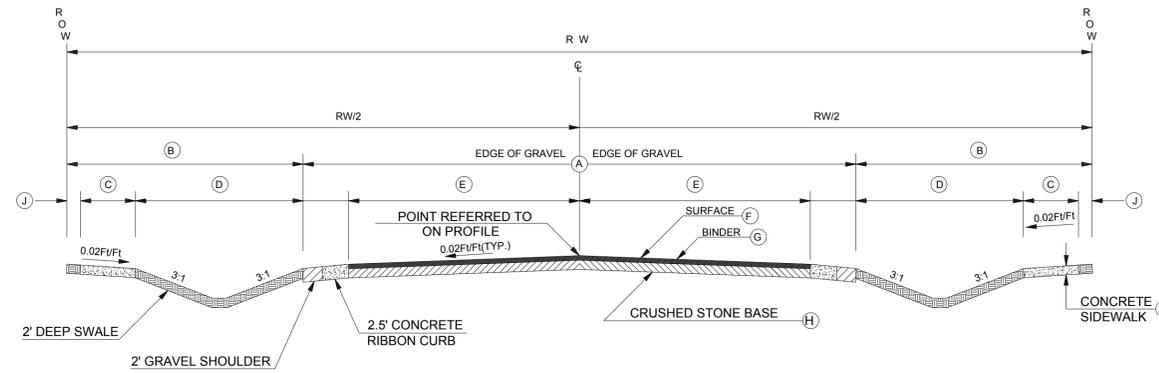
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LAUFENBERG BLVD.	9+25.00-10+36.00	31'	14'	5'	6'	14'	1 3/4"	2 1/4"	8"	5"	6'	66'
LAUFENBERG BLVD.	10+36.00-12+50.15	31'	21.5'	5'	15.5'	14'	1 3/4"	2 1/4"	8"	5"	1'	74'

LAUFENBERG BLVD - FINISHED SECTION



STREET	STATIONS	F	G	H
PRIVATE ROADS	10+00.00-23+00.00	1 3/4"	2 1/4"	8"

PRIVATE ROADS - FINISHED SECTION



STREET	STATIONS	A	B	C	D	E	F	G	H	I	J	R W
LAUFENBERG BLVD.	12+50.15-21+13.00	37'	18.5'	5'	12.5'	14'	1 3/4"	2 1/4"	8"	5"	1'	74'
A-STREET	10+00.00-21+13.00	37'	18.5'	5'	12.5'	14'	1 3/4"	2 1/4"	8"	5"	1'	74'

LAUFENBERG BLVD & "A-STREET" - FINISHED SECTION

D'ONOFRI KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608-833-7530 • Fax: 608-833-1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DETAILS
CREEK CROSSING
VILLAGE OF CROSS PLAINS, DANE COUNTY, WI

DATE: 02/17/2020
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